

ADDENDUM NUMBER TWO (02)

June 3, 2021

**THE UNIVERSITY OF NEW ORLEANS
SCIENCE LAB UPGRADES PHASE II
H/S PROJECT NO. 21006**

**HOLLY & SMITH ARCHITECTS, APAC
2302 MAGAZINE STREET
NEW ORLEANS, LOUISIANA 70130**

This addendum forms a part of the Contract Documents and modifies the original specifications and drawings issued for bidding to the extent noted hereinafter.

Careful note of this Addendum will be taken by all parties of interest so that proper allowances are made in all computations, estimates and contracts and so that all trades affected are fully advised in the performance of the work that will be required of them.

GENERAL

- 2.1 A copy of the non-mandatory Pre-Bid Sign-In Sheet is included in this Addendum for information only.
- 2.2 The Contract Time has increased from 90 calendar days to 135 calendar days.
- 2.3 The site is located within an operational classroom building and will remain operational throughout the construction period. Work is to be performed during normal working hours. Any disruptive events are to be coordinated with the Owner prior to start of disruptive work.

ARCHITECTURAL

Drawings

- 2.4 Refer to Bid Documents dated 05.07.21. See sheet A001. Delete sheet in its entirety and replace with sheet A001 attached herein as part of addendum 02, dated 06.03.21.
- 2.5 Refer to Bid Documents dated 05.07.21. See sheet A101. Delete sheet in its entirety and replace with sheet A101 attached herein as part of addendum 02, dated 06.03.21.
- 2.6 Refer to Bid Documents dated 05.07.21. See sheet A131. Delete sheet in its entirety and replace with sheet A131 attached herein as part of addendum 02, dated 06.03.21.
- 2.7 Refer to Bid Documents dated 05.07.21. See sheet A201. Delete sheet in its entirety and replace with sheet A201 attached herein as part of addendum 02, dated 06.03.21.
- 2.8 Refer to Bid Documents dated 05.07.21. See sheet A301. Delete sheet in its entirety and replace with sheet A301 attached herein as part of addendum 02, dated 06.03.21.
- 2.9 Refer to Bid Documents dated 05.07.21. See sheet A321. Delete sheet in its entirety and replace with sheet A321 attached herein as part of addendum 02, dated 06.03.21.

Specifications

- 2.10 Refer to Bid Document specifications dated 05.07.21. See spec Section 08 71 00 – Door Hardware. Add the following hardware set:
 - E. ~~Set: HW-04~~
 - 1. Description: Classroom Double
 - a. HINGES
 - b. SECURITY CLASSROOM LOCK

- c. KICK PLATES
- d. WALL STOPS
- e. FLUSH BOLTS (TOP AND BOTTOM)
- f. SILENCERS
- g. DUST PROOF STRIKE

ENVIRONMENTAL

Drawings

- 2.11 Refer to Bid Documents dated 05.07.21. See sheet HM01. ADD shower head and brace in Vestibule 1026-A to lead-based paint abatement scope of work.

MECHANICAL

Drawings

- 2.12 Refer to Bid Documents dated 05.07.21. See sheet M100. Delete sheet in its entirety and replace with sheet M100 attached herein as part of addendum 02, dated 06.03.21.
- 2.13 Refer to Bid Documents dated 05.07.21. See sheet M200. Delete sheet in its entirety and replace with sheet M200 attached herein as part of addendum 02, dated 06.03.21.

ELECTRICAL

Drawings

- 2.14 Refer to Bid Documents dated 05.07.21. See sheet E100. Delete sheet in its entirety and replace with sheet E100 attached herein as part of addendum 02, dated 06.03.21.
- 2.15 Refer to Bid Documents dated 05.07.21. See sheet E200. Delete sheet in its entirety and replace with sheet E200 attached herein as part of addendum 02, dated 06.03.21.
- 2.16 Refer to Bid Documents dated 05.07.21. See sheet E201. Delete sheet in its entirety and replace with sheet E201 attached herein as part of addendum 02, dated 06.03.21.
- 2.17 Refer to Bid Documents dated 05.07.21. See sheet E300. Delete sheet in its entirety and replace with sheet E300 attached herein as part of addendum 02, dated 06.03.21.

This Addendum consists of the following:

- Addendum No. 2 consisting of TWO (2) 8 ½" x 11" pages.
- Drawing sheets consisting of TWELVE (12) 24" x 36" sheets.
- Pre-Bid Meeting Sign-in Sheet consisting of TWO (2) 8 ½" x 11" page.

END OF ADDENDUM

H/S

HOLLY & SMITH ARCHITECTS

SIGN-IN SHEET
PRE-BID CONFERENCETHE UNIVERSITY OF NEW ORLEANS
SCIENCE LAB UPGRADES PHASE II
H/S PROJECT No. 21006

Wednesday, June 2, 2021 @ 10:00am

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6/3/2021 7:30:02 AM



1 EXISTING PHOTO - LAB 1008
N.T.S.



2 EXISTING PHOTO - LAB 1008
N.T.S.



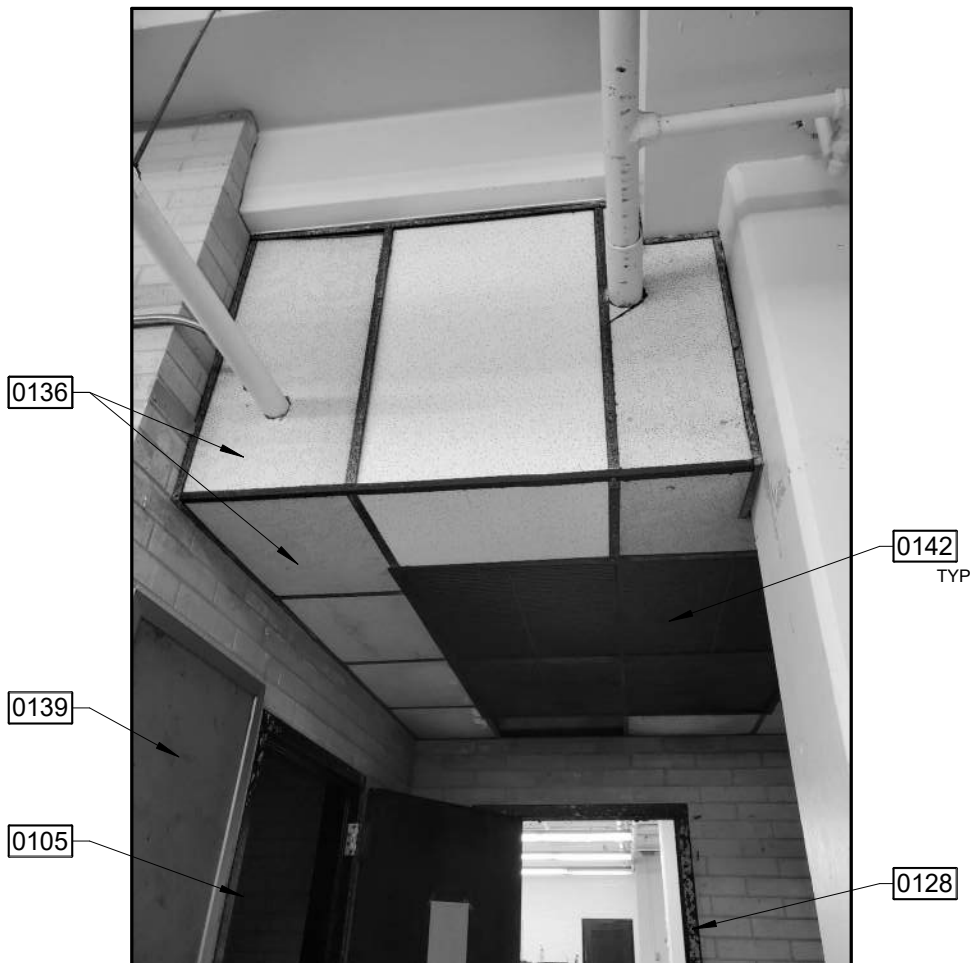
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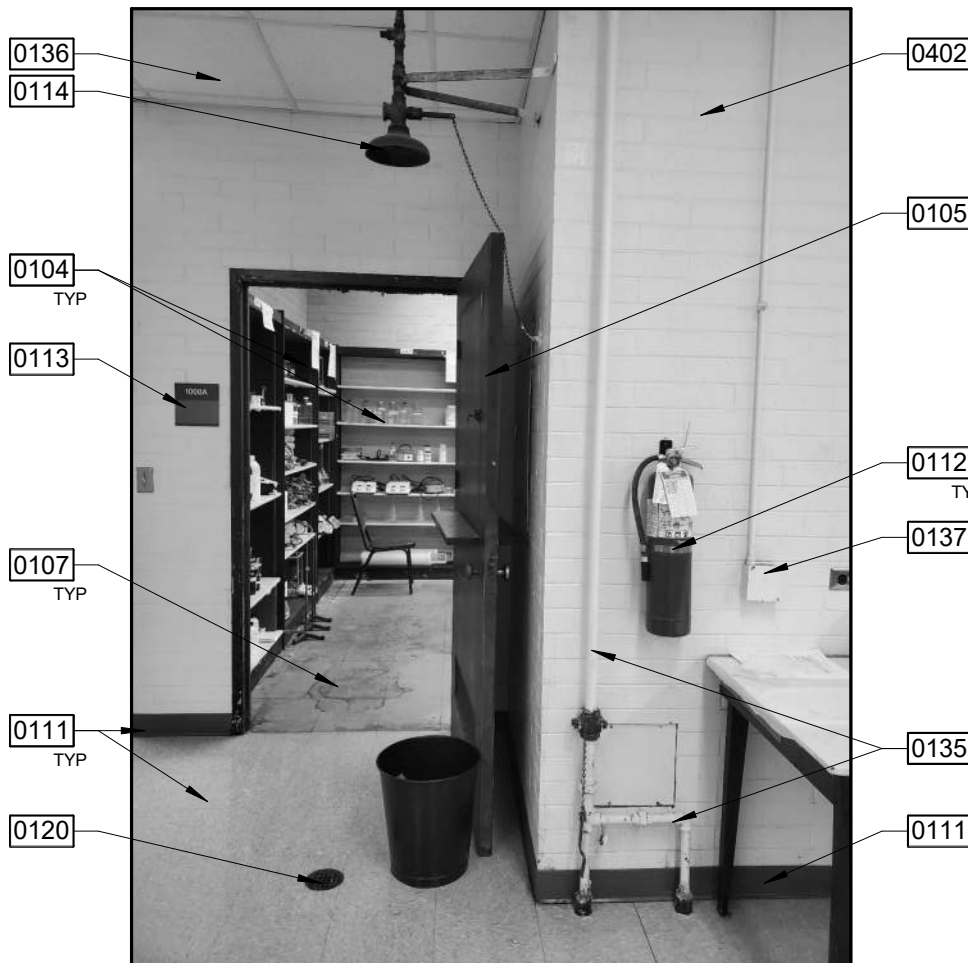
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6 EXISTING PHOTO - LAB 1008
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N.T.S.



9 EXISTING PHOTO - LAB 1008
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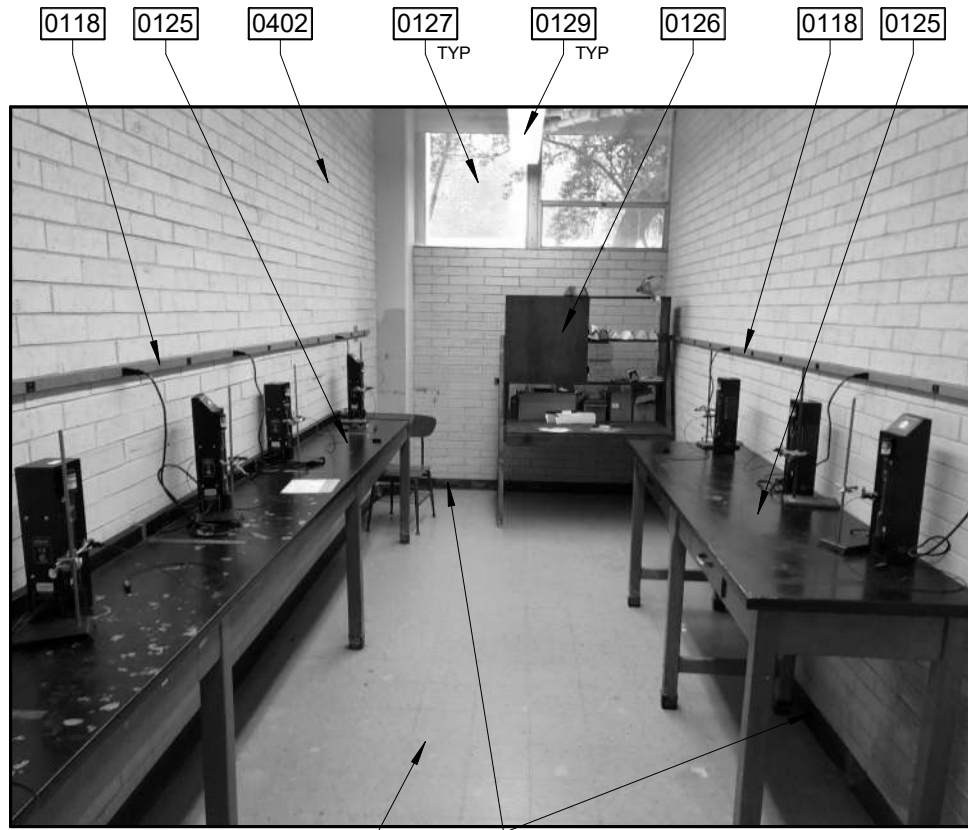
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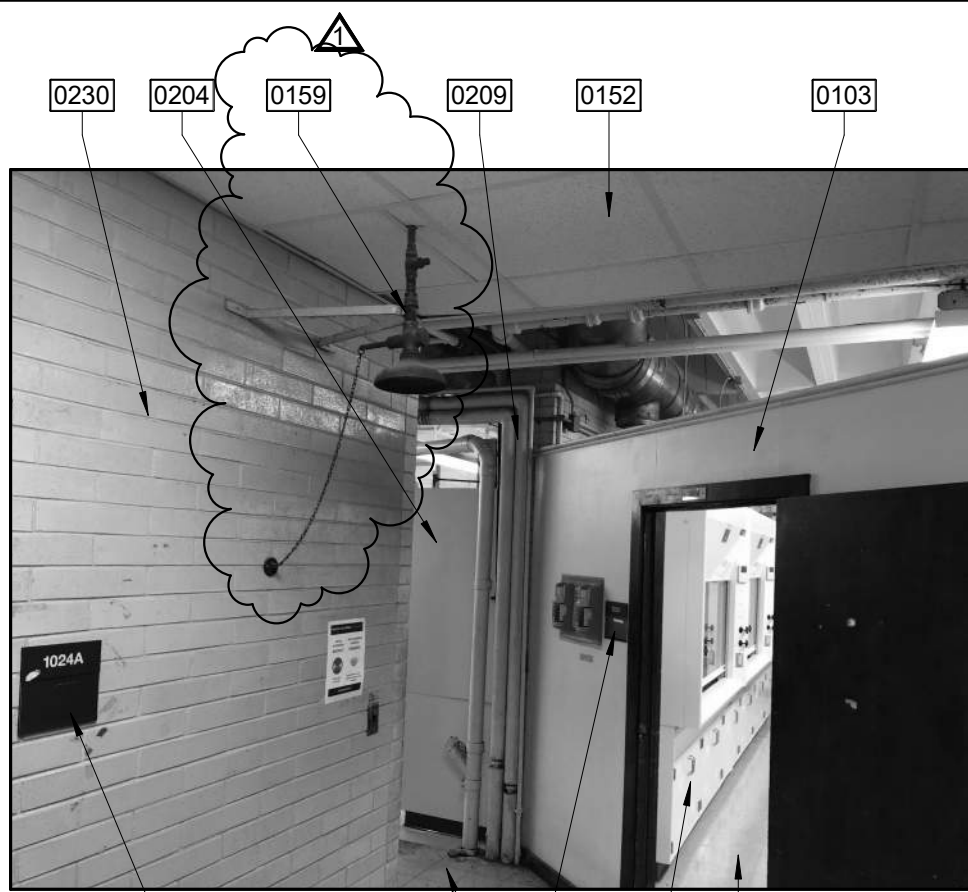
16 EXISTING PHOTO - LAB 1024
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17 EXISTING PHOTO - LAB 1024
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18 EXISTING PHOTO - LAB 1024
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19 EXISTING PHOTO - LAB 1024
N.T.S.

KEYNOTE LEGEND

- 0101 DEMOLISH EXISTING CASEWORK AND COUNTERTOP IN ITS ENTIRETY. SEE ENVIRONMENTAL DRAWINGS AND SPECIFICATIONS. REPAIR/PREP EXISTING WALL AS REQD FOR PAINT.
- 0102 DEMOLISH EXISTING LABORATORY WORKBENCH IN ITS ENTIRETY. ABATE PER ENVIRONMENTAL DRAWINGS AND SPECIFICATIONS.
- 0104 DEMOLISH EXISTING SHELVEING UNIT IN ITS ENTIRETY. PATCH/REPAIR ANY DAMAGED WALL SURFACE. PREP AS REQUIRED FOR PAINT.
- 0105 DEMOLISH EXISTING DOOR. EXISTING FRAME TO REMAIN. REPAIR/PREP EXISTING DOOR FRAME AS REQUIRED TO RECEIVE NEW DOOR AND HARDWARE.
- 0106 DEMOLISH EXISTING DOOR AND DOOR FRAME IN ITS ENTIRETY; PREP OPENING TO RECEIVE NEW MASONRY.
- 0107 ABATE EXISTING 9 X 9 FLOOR TILE AND MASTIC IN THEIR ENTIRETY; SEE ENVIRONMENTAL DRAWINGS AND SPECIFICATIONS. PREP EXISTING CONCRETE TO RECEIVE NEW FLOOR FINISH.
- 0108 DEMOLISH COVE BASE. PREP EXISTING WALL TO RECEIVE NEW BASE.
- 0109 INFILL ALL PENETRATIONS IN SLAB ONCE EXISTING PLUMBING AND ELECTRICAL HAVE BEEN REMOVED; SEE 16/A201.
- 0111 REMOVE EXISTING VCT AND BASE, PREP TO RECEIVE NEW FLOORING AND BASE.
- 0112 REMOVE AND STORE EXISTING WALL MOUNTED FIRE EXTINGUISHER, FIRE EXTINGUISHER SIGNAGE, AND ATTACHMENTS. FILL HOLES WHERE FIRE EXTINGUISHER WAS INSTALLED.
- 0113 REMOVE EXISTING PANEL SIGNAGE. PROTECT AND STORE FOR LATER REUSE.
- 0114 ABATE AND REMOVE EXISTING SHOWER HEAD AND SHOWER BRACE; SEE ENVIRONMENTAL DRAWINGS AND SPECIFICATIONS. REMOVE AND CAP EXISTING PLUMBING AS REQUIRED. SEE PLUMBING.
- 0116 EXISTING FIRE ALARM STROBE TO BE RELOCATED, SEE ELECTRICAL DRAWINGS; PATCH MASONRY WALL AS REQUIRED.
- 0117 EXISTING FURNITURE TO BE REMOVED BY OWNER PRIOR TO DEMOLITION
- 0118 DEMOLISH EXISTING ELECTRICAL STRIP ATTACHED TO BRICK WALL. SEE ELECTRICAL DRAWINGS. PATCH/REPAIR EXISTING WALL. PREP AS REQUIRED FOR REPAINTING.
- 0120 REMOVE EXISTING FLOOR DRAIN STRAINER AND CAP. SEE MECHANICAL DRAWINGS.
- 0121 DEMOLISH EXISTING WALL MOUNTED SINK IN ITS ENTIRETY. SEE MECHANICAL DRAWINGS. PATCH RESULTANT HOLE IN EXISTING BRICK WALL AS REQUIRED BY REPLACING / PROVIDING NEW BRICK; MATCH EXISTING BRICK SIZE, PROFILE, AND TEXTURE; NEW BRICK TO BE TOOTHED INTO EXISTING; ASSUME TWO SQUARE FEET OF REPLACEMENT.
- 0122 EXISTING TELEPHONE CABINET TO REMAIN.
- 0125 DEMOLISH EXISTING CASEWORK AND COUNTERTOP IN ITS ENTIRETY. REPAIR/PREP EXISTING WALL AS REQD FOR REPAINTING.
- 0126 EXISTING WOOD DESK TO BE REMOVED BY OWNER PRIOR TO DEMOLITION.
- 0127 REMOVE EXISTING WINDOW FILM IN ITS ENTIRETY AND PREP TO RECEIVE NEW TINT. CLEAN ENTIRE INTERIOR OF ALUMINUM WINDOW FRAME
- 0128 DEMOLISH EXISTING HM FRAME IN ITS ENTIRETY. PREP EXISTING WALL TO RECEIVE NEW DOOR AND FRAME.
- 0129 ABATE EXISTING FLUORESCENT LIGHT TUBES AND BALLASTS; SEE ENVIRONMENTAL DRAWINGS AND/OR SPECIFICATIONS. DEMOLISH EXISTING LIGHT FIXTURES IN THEIR ENTIRETY. SEE ELECTRICAL DRAWINGS FOR REPLACEMENT; EXISTING UNISTRUTS TO REMAIN, PAINT TO MATCH CEILING.
- 0130 ABATE EXISTING THERMOSTAT. SEE ENVIRONMENTAL AND MECHANICAL DRAWINGS / SPECIFICATIONS; PATCH MASONRY WALL AS REQUIRED.
- 0131 EXISTING METAL PLATE, AROUND BOTH SIDES OF DOOR FRAME, TO BE REMOVED IN ITS ENTIRETY; PATCH MASONRY WALL AS REQUIRED.
- 0135 REMOVE EXISTING PIPING, CAP AS REQUIRED; SEE MECHANICAL DRAWINGS.
- 0136 DEMOLISH EXISTING ACOUSTICAL CEILING TILES AND GRID SYSTEM IN ITS ENTIRETY.
- 0137 EXISTING JUNCTION BOX AND CONDUIT TO BE REMOVED IN ITS ENTIRETY, SEE ELECTRICAL DRAWINGS.
- 0139 REMOVE EXISTING WALL HUNG DISPLAY BOARD. PATCH/PREP EXISTING WALL. PREP AS REQUIRED FOR PAINT.
- 0140 DEMOLISH EXISTING WALL MOUNTED SHELF, PATCH/PREP EXISTING WALL. PREP AS REQUIRED FOR PAINT.
- 0141 DEMOLISH EXISTING WALL MOUNTED DRYING RACK PATCH/PREP EXISTING WALL. PREP AS REQUIRED FOR PAINT.
- 0142 REMOVE AND DISPOSE OF EXISTING AIR GRILLES, TYP.; SEE MECHANICAL DRAWINGS.
- 0143 ABATE EXISTING FLUORESCENT LIGHT TUBES; SEE ENVIRONMENTAL DRAWINGS. DEMOLISH EXISTING LIGHT FIXTURE IN THEIR ENTIRETY, SEE ELECTRICAL DRAWINGS.
- 0146 REMOVE AND DISPOSE OF EXISTING SIDEWALL REGISTER, TYP.; SEE MECHANICAL
- 0204 EXISTING FUME HOOD TO REMAIN. PROTECT DURING CONSTRUCTION ACTIVITIES.
- 0205 EXISTING THERMOSTAT TO REMAIN.
- 0208 EXISTING 9X9 FLOOR TILE AND MASTIC TO REMAIN.
- 0209 EXISTING PIPING TO REMAIN.
- 0241 EXISTING MECHANICAL DUCT TO REMAIN. PREP AS REQUIRED FOR REPAINTING..
- 0310 PATCH PORTION OF DAMAGED CEILING ABOVE
- 0402 EXISTING MASONRY WALL; PATCH AND REPAIR AS REQUIRED; CLEAN, PREP, AND PAINT

ALT NO. 1 - KEYNOTE LEGEND

- 0103 ALTERNATE NO. 1 - DEMOLISH EXISTING WOOD STUD PARTITION, DOOR, AND DOOR FRAME IN THEIR ENTIRETY.
- 0147 ALTERNATE NO. 1 - ABATE EXISTING 9 X 9 FLOOR TILE AND MASTIC IN THEIR ENTIRETY; SEE ENVIRONMENTAL DRAWINGS AND SPECIFICATIONS. PREP EXISTING CONCRETE TO RECEIVE NEW FLOOR FINISH.
- 0148 ALTERNATE NO. 1 - DEMOLISH COVE BASE. PREP EXISTING WALL TO RECEIVE NEW BASE.
- 0149 ALTERNATE NO. 1 - REMOVE AND STORE EXISTING WALL MOUNTED FIRE EXTINGUISHER, FIRE EXTINGUISHER SIGNAGE, AND ATTACHMENTS. FILL HOLES WHERE FIRE EXTINGUISHER WAS INSTALLED.
- 0150 ALTERNATE NO. 1 - REMOVE EXISTING PANEL SIGNAGE. PROTECT AND STORE FOR LATER REUSE.
- 0152 ALTERNATE NO. 1 - DEMOLISH EXISTING ACOUSTICAL CEILING TILES AND GRID SYSTEM IN ITS ENTIRETY.
- 0153 ALTERNATE NO. 1 - ABATE EXISTING FLUORESCENT LIGHT TUBES; SEE ENVIRONMENTAL DRAWINGS. DEMOLISH EXISTING LIGHT FIXTURE IN THEIR ENTIRETY, SEE ELECTRICAL DRAWINGS.
- 0158 ALTERNATE NO. 1 - REMOVE AND DISPOSE OF EXISTING AIR GRILLES, TYP.; SEE MECHANICAL DRAWINGS.
- 0159 ALTERNATE NO. 1 - ABATE AND REMOVE EXISTING SHOWER HEAD AND SHOWER BRACE; SEE ENVIRONMENTAL DRAWINGS AND SPECIFICATIONS. REMOVE AND CAP EXISTING PLUMBING AS REQUIRED. SEE PLUMBING.
- 0203 ALTERNATE NO. 1 - PREP CEILING TO RECEIVE NEW PAINT FINISH
- 0230 ALTERNATE NO. 1 - PREP EXISTING MASONRY WALL TO RECEIVE NEW PAINT, TYPICAL FOR VESTIBULE 1026-A.
- 0412 ALTERNATE NO. 1 - EXISTING MASONRY WALL; PATCH AND REPAIR AS REQUIRED; CLEAN, PREP, AND PAINT

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THE UNIVERSITY OF NEW ORLEANS

SCIENCE LAB UPGRADES - PHASE II

2000 LAKESHORE DRIVE, NEW ORLEANS, LA 70148



NO.	DESCRIPTION	DATE
ADDENDUM 2		06.03.21

PROJECT NO.	21006
PHASE	CD
DATE	05.07.21
PROJECT MANAGER	CMB
QUALITY CONTROL	RS

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BID ISSUE

A001

DEMOLITION PICTURES

KEY PLAN

0103 ALTERNATE NO. 1 - DEMOLISH EXISTING WOOD STUD PARTITION, DOOR, AND DOOR
FRAME IN THEIR ENTIRETY.

0138 ALTERNATE NO. 1 - EXTENT OF EXISTING 9 X 9 FLOOR TILE AND MASTIC WITHIN
SCOPE OF WORK. SEE ENVIRONMENTAL DRAWINGS FOR REMOVAL.

0145 ALTERNATE NO. 1 - RECONFIGURE EXISTING LIGHT SWITCH AS SHOWN ON
ELECTRICAL DRAWINGS.

0147 ALTERNATE NO. 1 - ABATE EXISTING 9 X 9 FLOOR TILE AND MASTIC IN THEIR
ENTIRETY. SEE ENVIRONMENTAL DRAWINGS AND SPECIFICATIONS. PREP EXISTING
CONCRETE TO RECEIVE NEW FLOOR FINISH.

0148 ALTERNATE NO. 1 - DEMOLISH COVE BASE. PREP EXISTING WALL TO RECEIVE NEW
BASE.

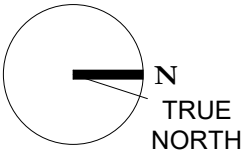
0149 ALTERNATE NO. 1 - REMOVE AND STORE EXISTING WALL MOUNTED FIRE
EXTINGUISHER, FIRE EXTINGUISHER SIGNAGE, AND ATTACHMENTS. FILL HOLES
WHERE FIRE EXTINGUISHER WAS INSTALLED.

0150 ALTERNATE NO. 1 - REMOVE EXISTING PANEL SIGNAGE. PROTECT AND STORE FOR
LATER REUSE.

0161 ALTERNATE NO. 1 - REMOVE EXISTING FLOOR DRAIN STRAINER AND CAP. SEE
MECHANICAL DRAWINGS.

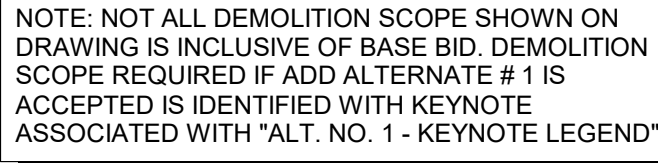
0162 ALTERNATE NO. 1 - DEMOLISH EXISTING WALL MOUNTED SINK IN ITS ENTIRETY.
SEE MECHANICAL DRAWINGS. PATCH RESULTING HOLE IN EXISTING BRICK WALL
AS REQUIRED BY REPLACING / PROVIDING NEW BRICK; MATCH EXISTING BRICK
SIZE, PROFILE, AND TEXTURE. MATCH AND BE TOOTHED INTO EXISTING
ASSUME TWO SQUARE FEET OF REPLACEMENT.

0210 ALTERNATE NO. 1 - GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY
PROTECTION DURING DEMOLITION AND CONSTRUCTION AROUND AREA OF WORK
TO KEEP CONSTRUCTION DUST AND DEBRIS FROM CONTAMINATING THE
REMAINDER OF LAB 1026. GENERAL CONTRACTOR SHALL REMOVE TEMPORARY
PROTECTION IN ITS ENTIRETY AND CLEAN AREA UPON COMPLETION OF WORK
WITH LAB 1026.



NO WORK IN THIS AREA UNLESS NOTED OTHERWISE

INDICATES PHOTO; SEE A001



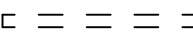
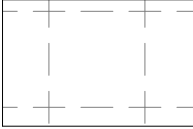
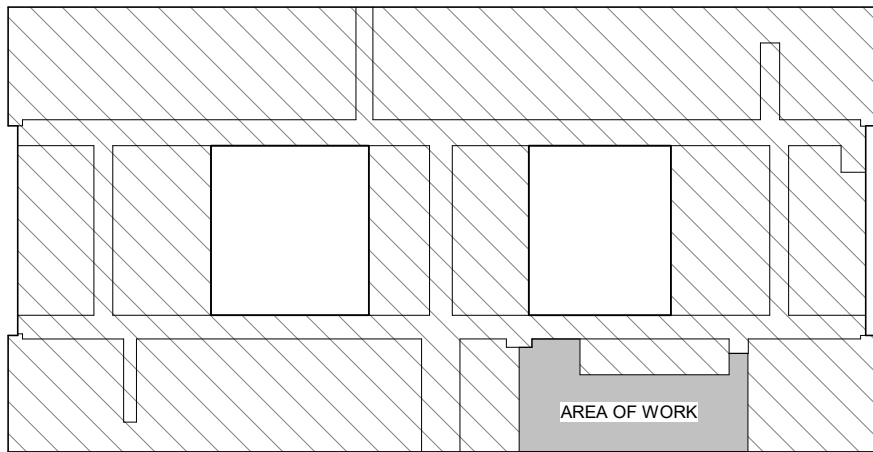
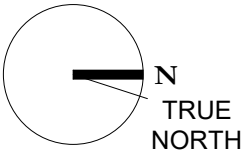


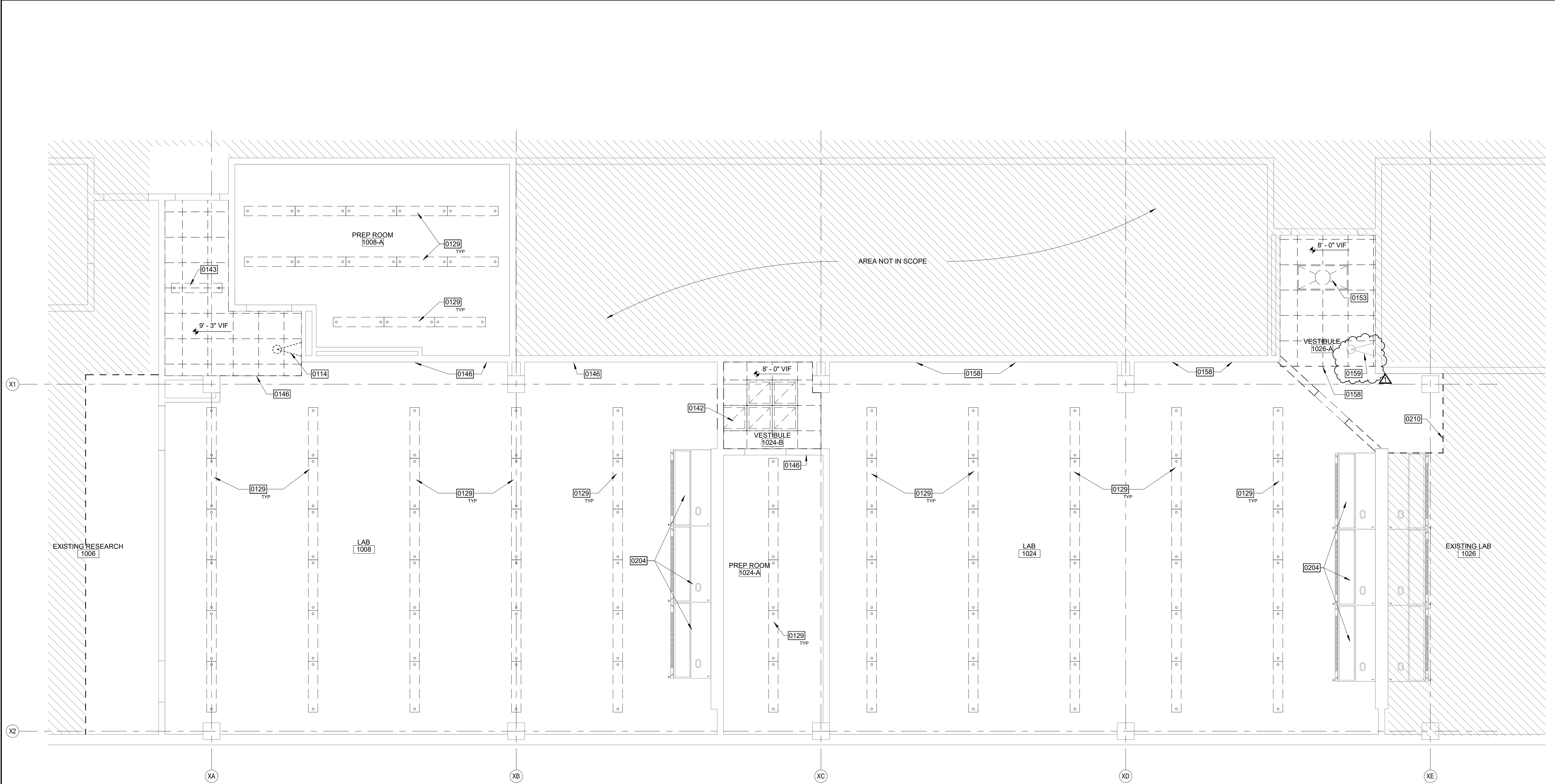
A diagram of a circle with a horizontal line segment extending from the center to the right edge. The line segment is labeled 'N' and 'TRUE NORTH'.

DEMOLITION PLAN

6/3/2021 7:30:08 AM

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GENERAL NOTES	KEYNOTE LEGEND	ALT NO. 1 - KEYNOTE LEGEND	DEMOLITION LEGEND	KEY PLAN
<div>1</div> <div>CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS. THESE DEMOLITION PLANS ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE DASHED LINES GENERALLY INDICATE THOSE BUILDING ELEMENTS WHICH MUST BE DEMOLISHED TO COMPLETE THE WORK. CONTRACTOR SHALL REMOVE FINISHES AND COMPONENTS AS REQUIRED TO COMPLETE THE NEW WORK WHETHER OR NOT SUCH REMOVAL IS SPECIFICALLY NOTED HEREIN.</div> <div>2</div> <div>CONTRACTOR TO REFER TO MEP SHEETS FOR ADDITIONAL NOTES RELATING TO MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT.</div> <div>3</div> <div>PROTECT EXISTING WORK WHICH IS TO REMAIN IN PLACE, BE RE-USED, OR REMAIN THE PROPERTY OF THE OWNER.</div> <div>4</div> <div>REMOVE AND STORE MATERIALS AND EQUIPMENT INDICATED TO BE REUSED OR RELOCATED TO PREVENT DAMAGE.</div> <div>5</div> <div>REFER TO ENVIRONMENTAL DRAWINGS FOR SCOPE RELATED TO HAZARDOUS MATERIALS AND ITS REMOVAL.</div> <div>6</div> <div>ALL WORK THAT WOULD AFFECT THE OWNER'S AND THE PUBLIC'S NORMAL USE AND FUNCTION OF THE BUILDING MUST BE PERFORMED DURING "OTHER-THAN-NORMAL" WORKING HOURS AT NO ADDITIONAL COST TO THE OWNER. SPECIFICALLY, UTILITY INTERRUPTIONS AND/OR SHUTDOWNS AND DISRUPTIVE ACTIVITIES MAY NOT OCCUR DURING WEEK DAYS FROM THE HOURS OF 6 AM - 6 PM (NORMAL WORKING HOURS). CONTRACTOR MUST INCLUDE IN THE CONTRACT PRICE, OVERTIME WORK DURING NIGHTS, SATURDAYS, SUNDAYS, UNIVERSITY OF NEW ORLEANS EXAM TIMES, AND HOLIDAYS NECESSARY TO ACCOMMODATE REQUIRED UTILITY SHUTDOWNS AND/OR INTERRUPTIONS AND DISRUPTIVE ACTIVITIES. THIS OVERTIME WORK MUST BE SCHEDULED WITH OWNER'S REPRESENTATIVE IN ADVANCE BY SEVEN DAYS AND IS SUBJECT TO RESTRICTIONS AS DESCRIBED IN COORDINATION WITH OCCUPANTS.</div> <div>7</div> <div>RESEARCH ROOM 1006 IS FULLY OPERATIONAL AND WILL REMAIN FULLY OPERATIONAL DURING THE ENTIRE LENGTH OF THIS PROJECT. THE GENERAL CONTRACTOR IS TO COORDINATE WITH THE OWNER FOR ACCESS TO RESEARCH ROOM 1006 AND COMPLETE THE SCOPE OF WORK IN AS MINIMUM OF A TIMEFRAME AS POSSIBLE.</div>	<div>0114</div> <div>ABATE AND REMOVE EXISTING SHOWER HEAD AND SHOWER BRACE; SEE ENVIRONMENTAL DRAWINGS AND SPECIFICATIONS. REMOVE AND CAP EXISTING PLUMBING AS REQUIRED. SEE PLUMBING.</div> <div>0129</div> <div>ABATE EXISTING FLUORESCENT LIGHT TUBES AND BALLASTS; SEE ENVIRONMENTAL DRAWINGS AND/OR SPECIFICATIONS. DEMOLISH EXISTING LIGHT FIXTURES IN THEIR ENTIRETY. SEE ELECTRICAL DRAWINGS FOR REPLACEMENT; EXISTING UNISTRUTS TO REMAIN. PAINT TO MATCH CEILING.</div> <div>0142</div> <div>REMOVE AND DISPOSE OF EXISTING AIR GRILLES, TYP.; SEE MECHANICAL DRAWINGS.</div> <div>0143</div> <div>ABATE EXISTING FLUORESCENT LIGHT TUBES; SEE ENVIRONMENTAL DRAWINGS. DEMOLISH EXISTING LIGHT FIXTURE IN THEIR ENTIRETY. SEE ELECTRICAL DRAWINGS.</div> <div>0146</div> <div>REMOVE AND DISPOSE OF EXISTING SIDEWALL REGISTER, TYP.; SEE MECHANICAL DRAWINGS.</div> <div>0204</div> <div>EXISTING FUME HOOD TO REMAIN, PROTECT DURING CONSTRUCTION ACTIVITIES.</div>	<div>0153</div> <div>ALTERNATE NO. 1 - ABATE EXISTING FLUORESCENT LIGHT TUBES; SEE ENVIRONMENTAL DRAWINGS. DEMOLISH EXISTING LIGHT FIXTURE IN THEIR ENTIRETY. SEE ELECTRICAL DRAWINGS.</div> <div>0158</div> <div>ALTERNATE NO. 1 - REMOVE AND DISPOSE OF EXISTING AIR GRILLES, TYP.; SEE MECHANICAL DRAWINGS.</div> <div>0159</div> <div>ALTERNATE NO. 1 - ABATE AND REMOVE EXISTING SHOWER HEAD AND SHOWER BRACE; SEE ENVIRONMENTAL DRAWINGS AND SPECIFICATIONS. REMOVE AND CAP EXISTING PLUMBING AS REQUIRED. SEE PLUMBING.</div> <div>0210</div> <div>ALTERNATE NO. 1 - GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION DURING DEMOLITION AND CONSTRUCTION AROUND AREA OF WORK TO KEEP CONSTRUCTION DUST AND DEBRIS FROM CONTAMINATING THE REMAINDER OF LAB 1026. GENERAL CONTRACTOR SHALL REMOVE TEMPORARY PROTECTION IN ITS ENTIRETY AND CLEAN AREA UPON COMPLETION OF WORK WITH LAB 1026.</div>	<div> NO WORK IN THIS AREA UNLESS NOTED OTHERWISE</div> <div> EXISTING LIGHT FIXTURE TO BE DEMOLISHED; SEE ELECTRICAL</div> <div> EXISTING WALL TO BE DEMOLISHED</div> <div> EXISTING ACOUSTICAL CEILING TILES AND GRID SYSTEM TO BE DEMOLISHED IN ITS ENTIRETY.</div>	<div></div> <div></div>



16

1/4" = 1'-0"

0

4'

8'



N
TRUE
NORTH

NOTE: NOT ALL DEMOLITION SCOPE SHOWN ON
DRAWING IS INCLUSIVE OF BASE BID. DEMOLITION
SCOPE REQUIRED IF ADD ALTERNATE # 1 IS
ACCEPTED IS IDENTIFIED WITH KEYNOTE
ASSOCIATED WITH "ALT. NO. 1 - KEYNOTE LEGEND".


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THE UNIVERSITY OF NEW ORLEANS

SCIENCE LAB UPGRADES - PHASE II

2000 LAKESHORE DRIVE, NEW ORLEANS, LA 70148



NO.	DESCRIPTION	DATE
ADDENDUM 2		06.03.21

PROJECT NO.	21006
PHASE	CD
DATE	05.07.21
PROJECT MANAGER	CMB
QUALITY CONTROL	RS

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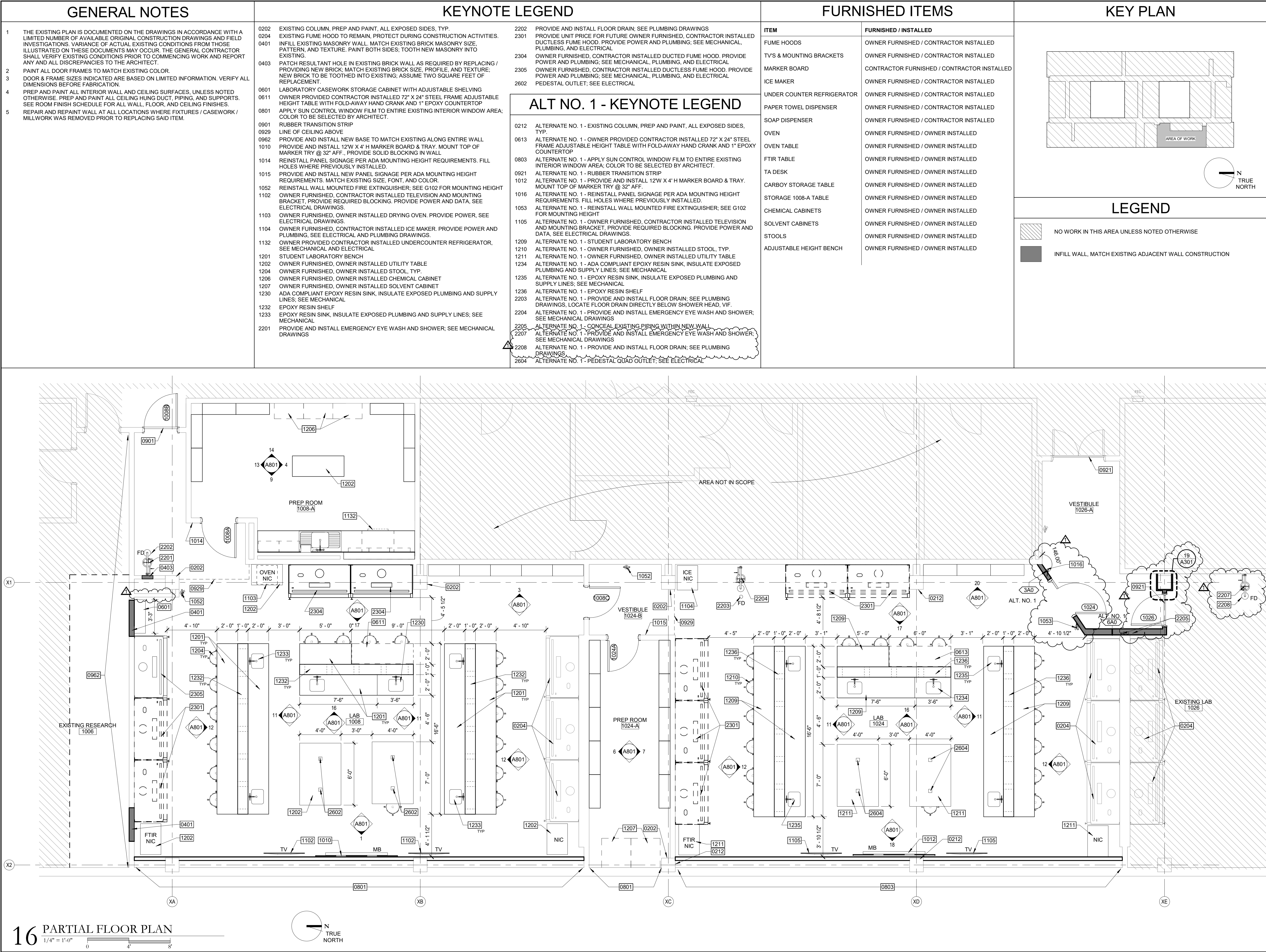
A131

DEMOLITION REFLECTED
CEILING PLAN

H/S

6/3/2021 7:30:12 AM

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6/3/2021 7:35:45 AM

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ROOM SCHEDULE

ROOM #	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH - NORTH	WALL FINISH - SOUTH	WALL FINISH - EAST	WALL FINISH - WEST	CEILING FINISH	COMMENTS
1006	EXISTING RESEARCH LAB	EXISTING TO REMAIN	EXISTING TO REMAIN	PAINT EXISTING BRICK	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN	
1008	LAB	ACRYLIC WATER BASED FLOOR COATING	RESILIENT BASE	PAINT EXISTING BRICK	PAINT EXISTING BRICK	PTD GYP BD	PAINT EXISTING BRICK	PAINT EXISTING EXPOSED STRUCTURE / ACT (VINYL)	ALTERNATE NO. 2 - INSTALL OWNER PROVIDED RUBBER FLOORING IN LIEU OF ACRYLIC WATER BASED FLOOR COATING; PREP EXISTING CONCRETE FLOOR AS SUGGESTED BY MANUFACTURER
1008-A	PREP ROOM	ACRYLIC WATER BASED FLOOR COATING	RESILIENT BASE	PAINT EXISTING GYP BD	PAINT EXISTING BRICK	PAINT EXISTING BRICK	PAINT EXISTING BRICK	PAINT EXISTING EXPOSED STRUCTURE	ALTERNATE NO. 2 - INSTALL OWNER PROVIDED RUBBER FLOORING IN LIEU OF ACRYLIC WATER BASED FLOOR COATING; PREP EXISTING CONCRETE FLOOR AS SUGGESTED BY MANUFACTURER
1024-A	PREP ROOM	ACRYLIC WATER BASED FLOOR COATING	RESILIENT BASE	PAINT EXISTING BRICK	PAINT EXISTING BRICK	PAINT EXISTING BRICK	PAINT EXISTING BRICK	PAINT EXISTING EXPOSED STRUCTURE	ALTERNATE NO. 2 - INSTALL OWNER PROVIDED RUBBER FLOORING IN LIEU OF ACRYLIC WATER BASED FLOOR COATING; PREP EXISTING CONCRETE FLOOR AS SUGGESTED BY MANUFACTURER
1024-B	VESTIBULE	ACRYLIC WATER BASED FLOOR COATING	RESILIENT BASE	PAINT EXISTING BRICK	PAINT EXISTING BRICK	PAINT EXISTING BRICK	PAINT EXISTING BRICK	ACT (VINYL)	ALTERNATE NO. 2 - INSTALL OWNER PROVIDED RUBBER FLOORING IN LIEU OF ACRYLIC WATER BASED FLOOR COATING; PREP EXISTING CONCRETE FLOOR AS SUGGESTED BY MANUFACTURER

ALTERNATE NO. 1 - ROOM SCHEDULE

ROOM #	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH - NORTH	WALL FINISH - SOUTH	WALL FINISH - EAST	WALL FINISH - WEST	CEILING FINISH	COMMENTS
1024	LAB	ACRYLIC WATER BASED FLOOR COATING	RESILIENT BASE	PAINT EXISTING BRICK / PTD GYP BD	PAINT EXISTING BRICK	PAINT EXISTING BRICK / PTD GYP BD	PAINT EXISTING BRICK / PTD GYP BD	PAINT EXISTING EXPOSED STRUCTURE	ALTERNATE NO. 2 - INSTALL OWNER PROVIDED RUBBER FLOORING IN LIEU OF ACRYLIC WATER BASED FLOOR COATING; PREP EXISTING CONCRETE FLOOR AS SUGGESTED BY MANUFACTURER
1026-A	VESTIBULE	ACRYLIC WATER BASED FLOOR COATING	RESILIENT BASE	PAINT EXISTING BRICK	PAINT EXISTING BRICK / PTD GYP BD	PAINT EXISTING BRICK / PTD GYP BD	PAINT EXISTING BRICK	ACT (VINYL)	ALTERNATE NO. 2 - INSTALL OWNER PROVIDED RUBBER FLOORING IN LIEU OF ACRYLIC WATER BASED FLOOR COATING; PREP EXISTING CONCRETE FLOOR AS SUGGESTED BY MANUFACTURER

DOOR SCHEDULE

DOOR #	ROOM NAME	WIDTH	HEIGHT	DOOR THICKNESS	TYPE	MATERIAL	TYPE	FRAME MATERIAL	HARDWARE SET	FIRE RATING	COMMENTS
1008A	PREP ROOM	3' - 4" VIF	6' - 10" VIF	0" - 1 3/4"	D-2	SCW	F-1	HOLLOW METAL (PAINTED)	HW-02	45 MIN	MATCH EXISTING WD VENEER SPECIES / 3/4" FIRE RATED GLAZING - 45 MINUTES
1008B	LAB	3' - 3" VIF	6' - 10" VIF	0" - 1 3/4" VIF	D-1	SCW	EXISTING	EXISTING HOLLOW METAL (PAINTED)	HW-01	-	MATCH EXISTING WD VENEER SPECIES
1008C	VESTIBULE	3' - 0" VIF	6' - 10" VIF	0" - 1 3/4"	D-2	SCW	F-1	HOLLOW METAL (PAINTED)	HW-03	-	MATCH EXISTING WD VENEER SPECIES
1024A	PREP ROOM	3' - 0" VIF	6' - 10" VIF	0" - 1 3/4"	D-3	SCW	F-1	HOLLOW METAL (PAINTED)	HW-02	45 MIN	MATCH EXISTING WD VENEER SPECIES

GENERAL NOTES

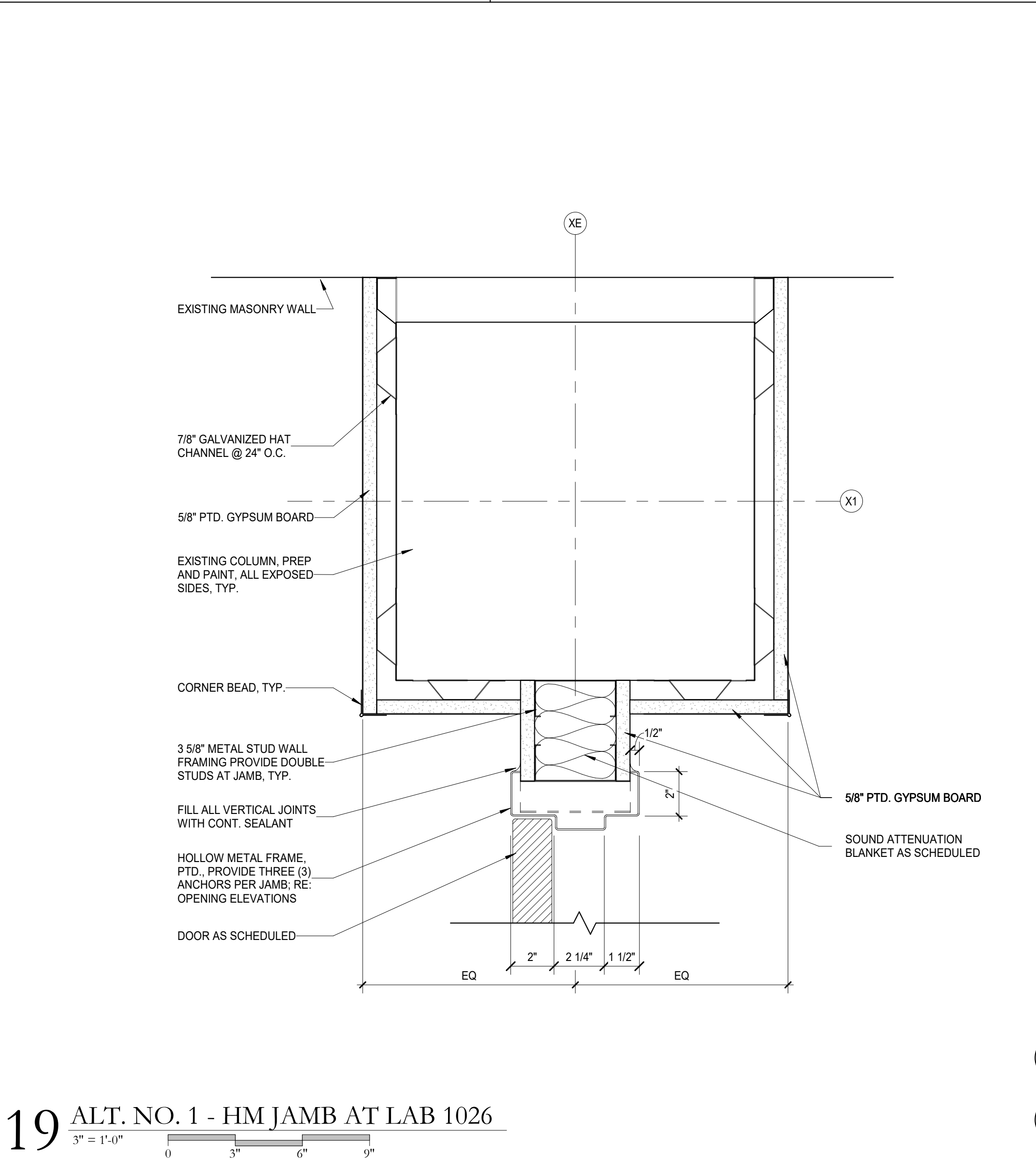
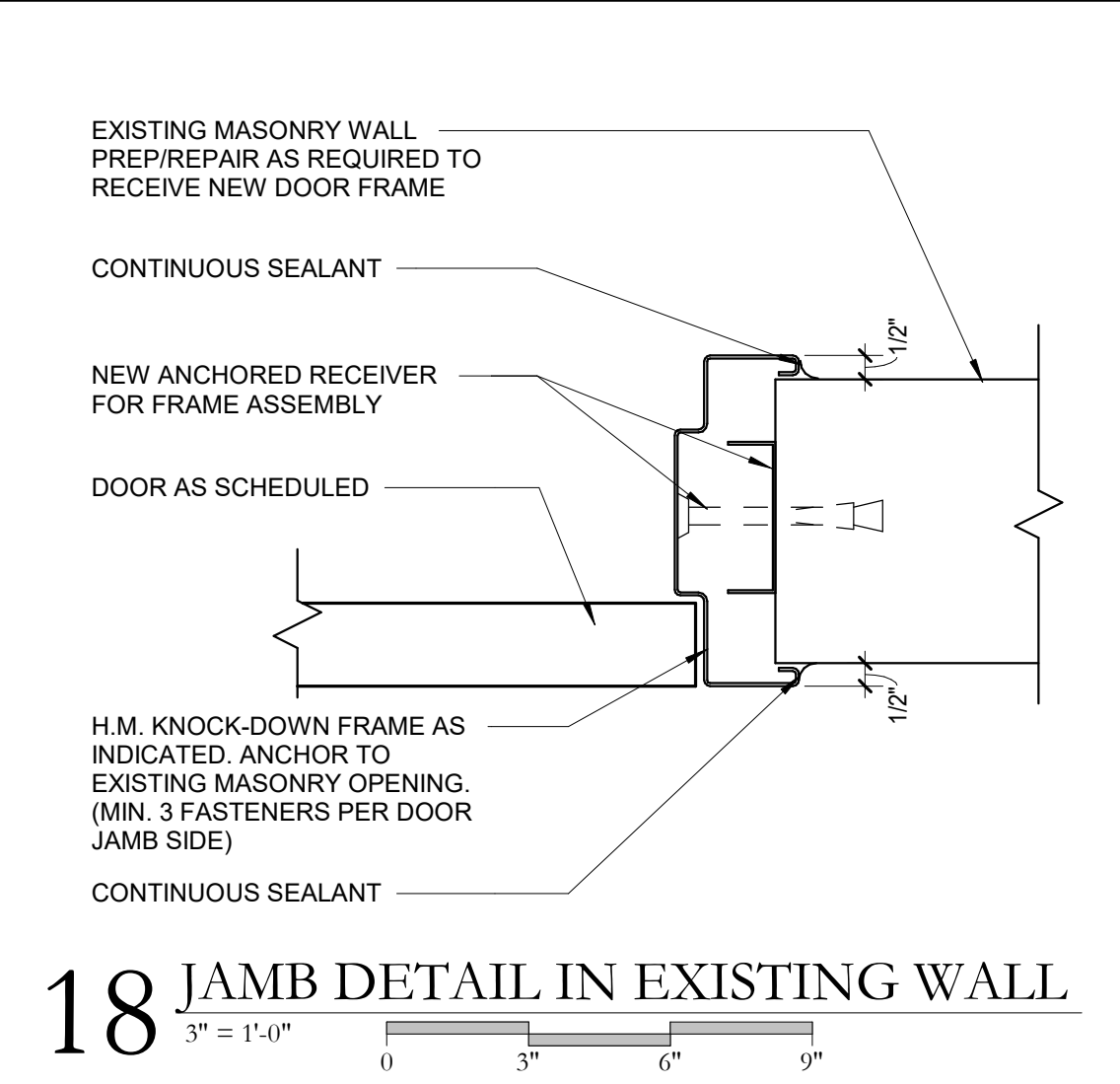
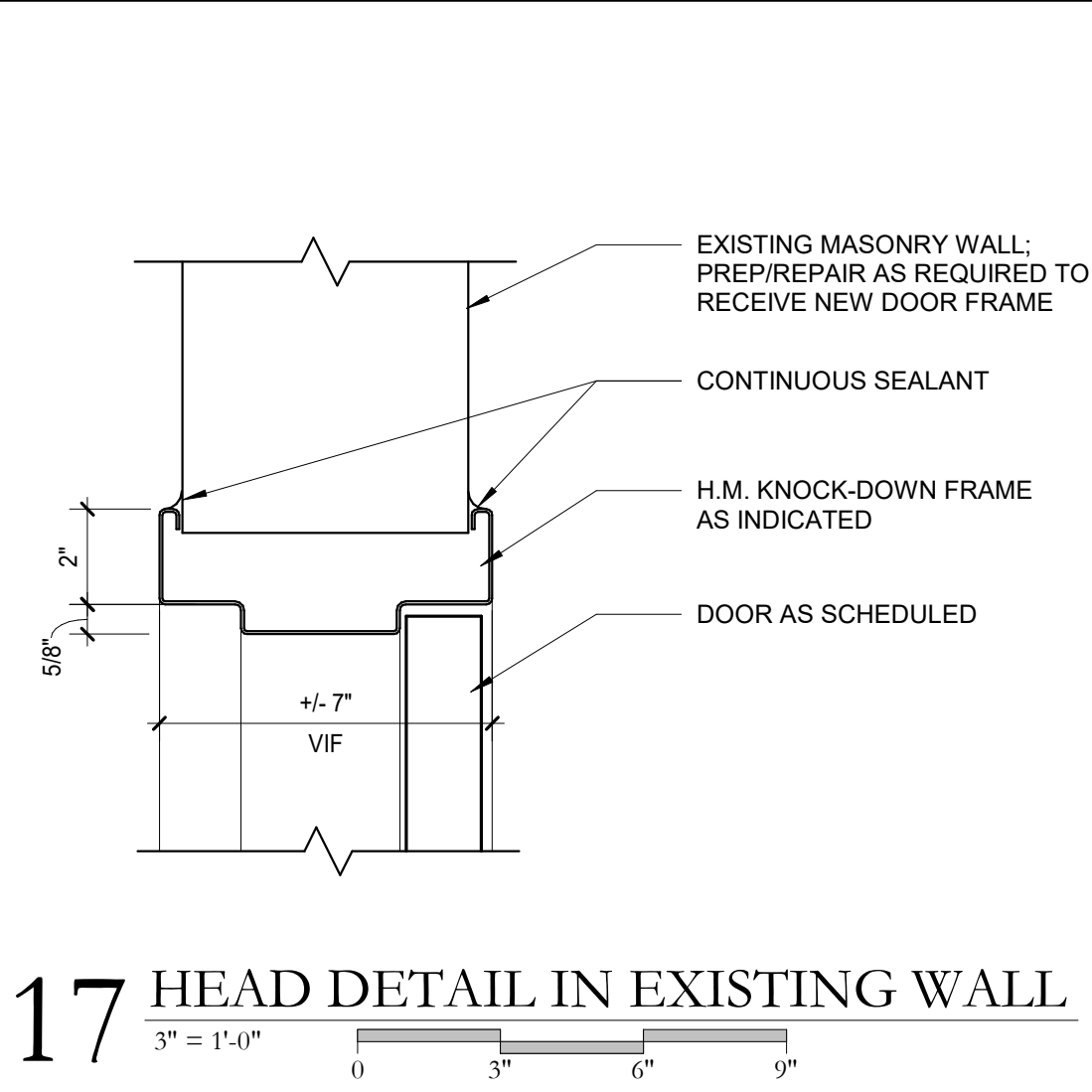
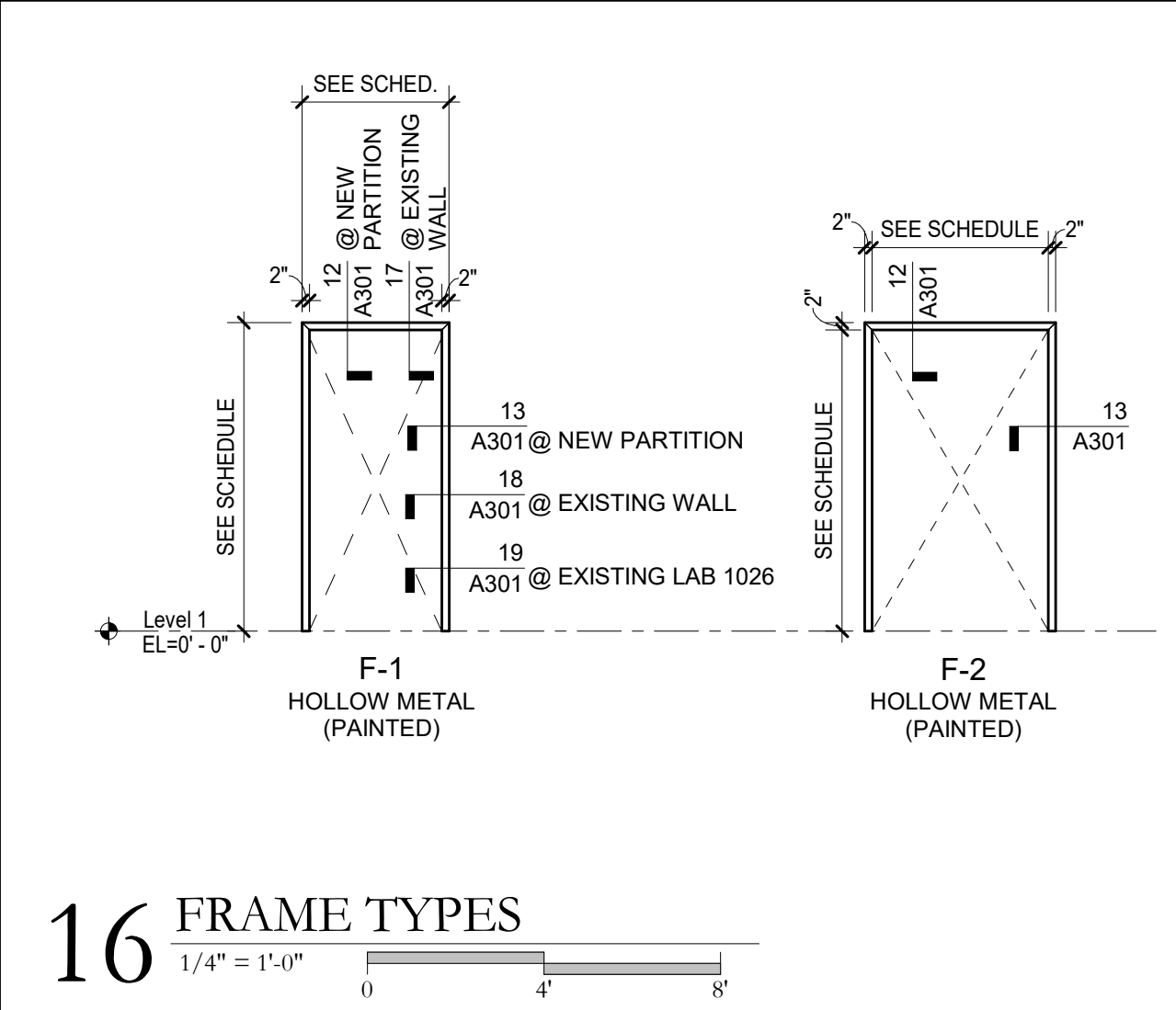
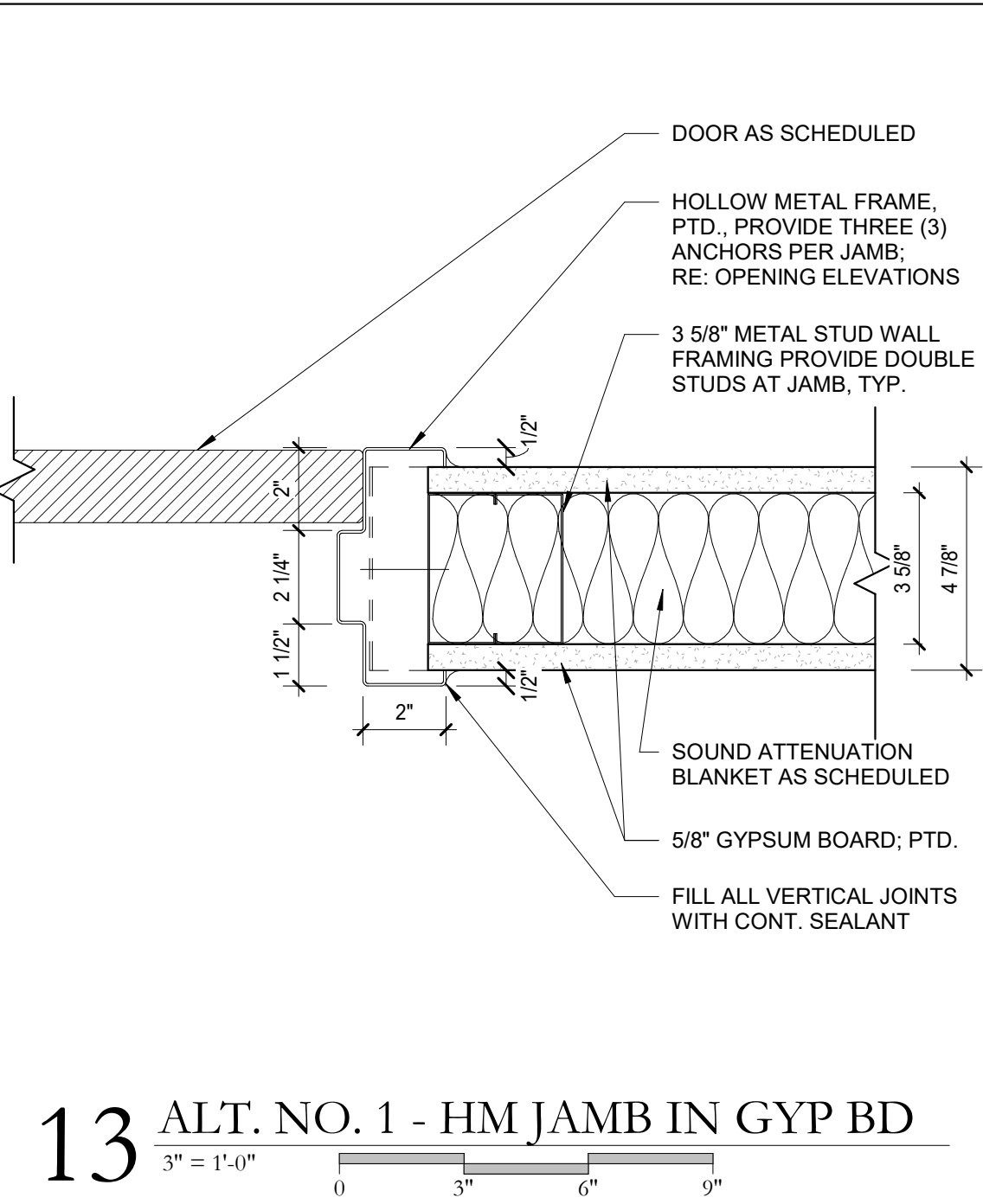
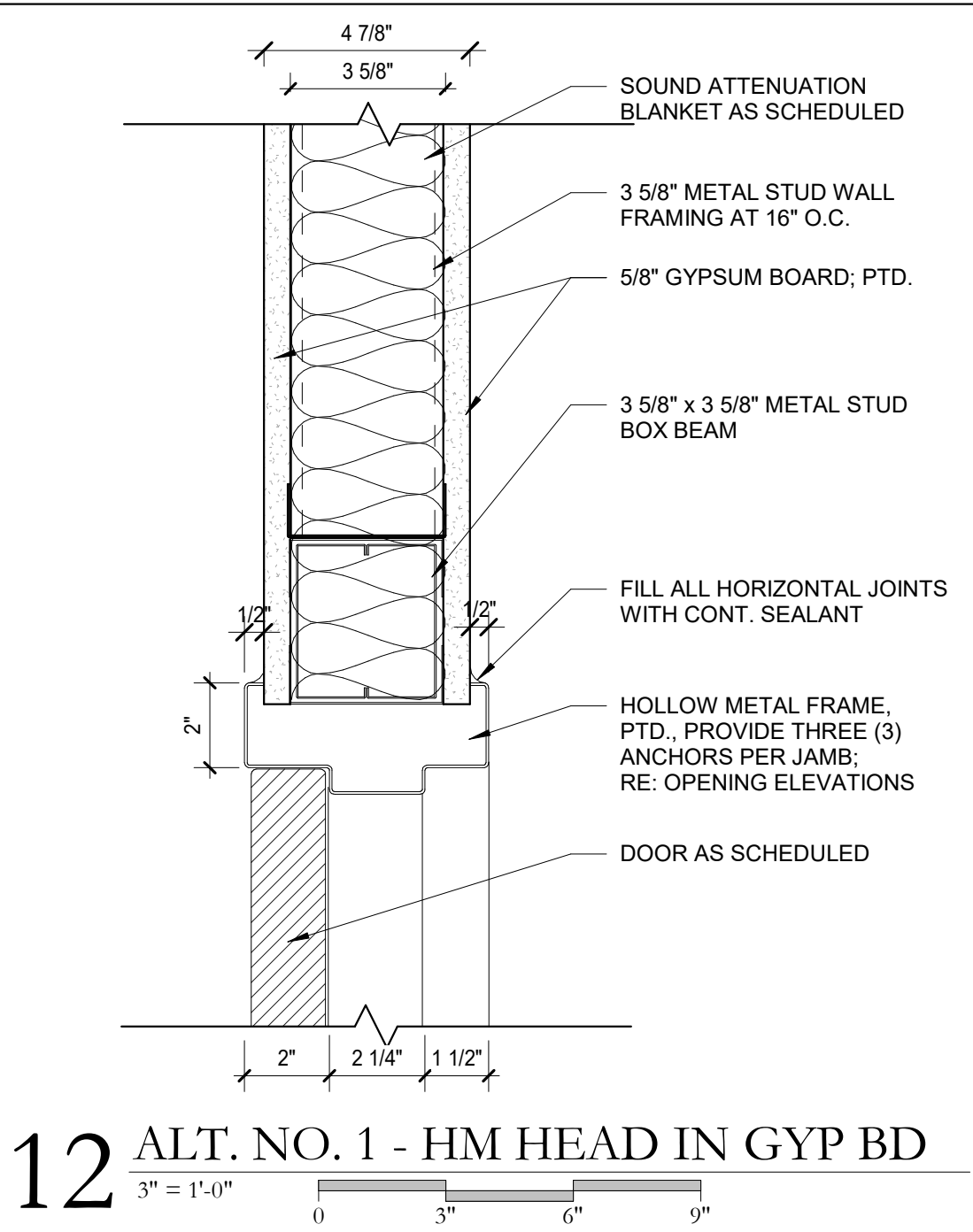
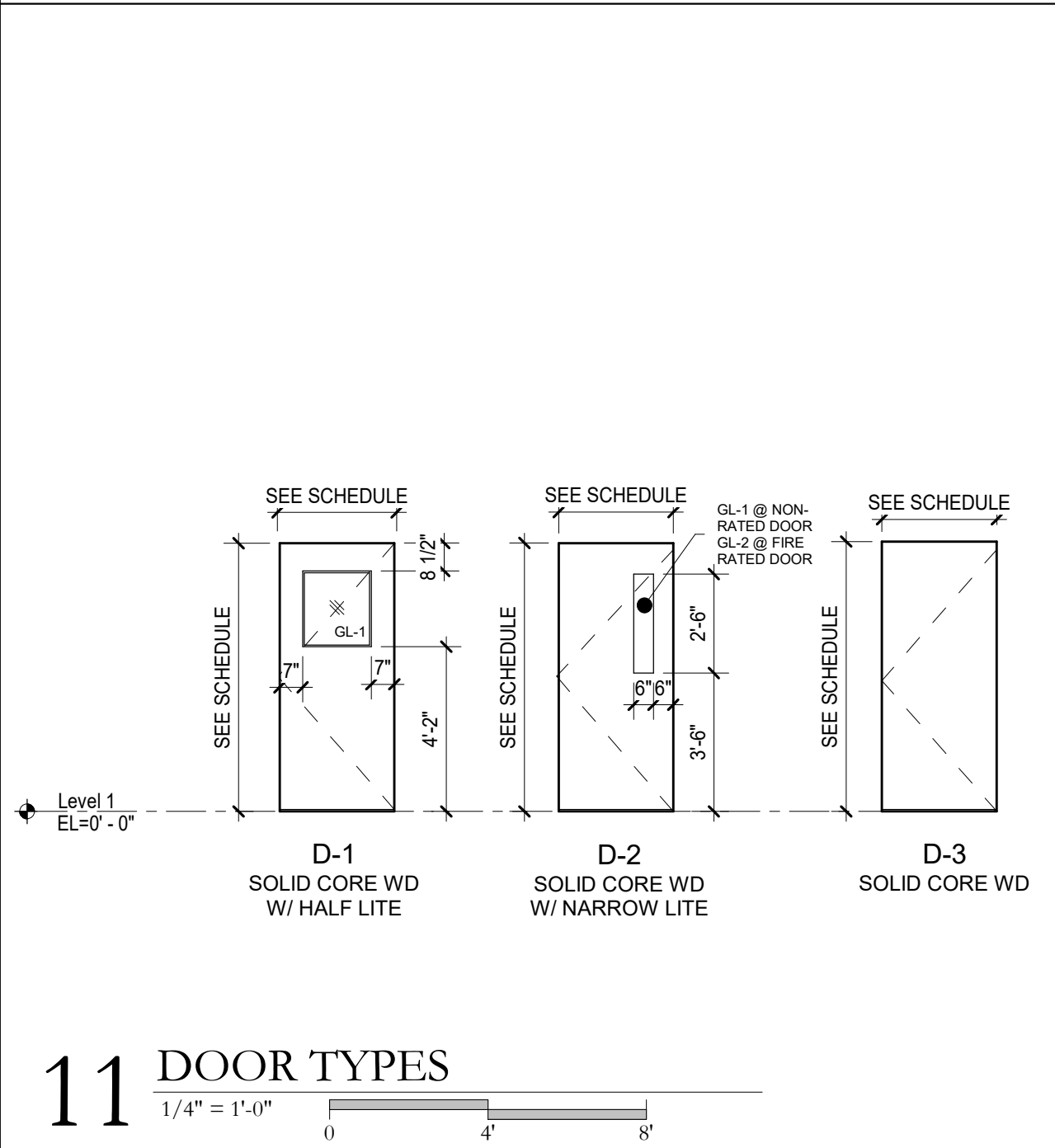
1. VERIFY ALL DIMENSIONS IN FIELD.
2. DIMENSIONS ARE TO ROUGH OPENING, UNO.
3. SEE SPECIFICATIONS FOR FRAMING & SEALANT TYPES & COLOR.
4. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
5. WINDOWS ARE SHOWN AS VIEWED FROM THE EXTERIOR.

ALTERNATE NO. 1 - DOOR SCHEDULE

DOOR #	ROOM NAME	WIDTH	HEIGHT	DOOR THICKNESS	TYPE	MATERIAL	TYPE	FRAME MATERIAL	HARDWARE SET	FIRE RATING	COMMENTS
1024	LAB	4' - 0"	6' - 10"	0" - 1 3/4"	D-1 / D-3	SCW	F-2	HOLLOW METAL (PAINTED)	HW-04	-	(1) 3'-0" DOOR (D-1 DOOR TYPE) AND (1) 1'-0" DOOR (D-3 DOOR TYPE), MATCH EXISTING WD VENEER SPECIES
1026	EXISTING LAB	3' - 0"	6' - 10"	0" - 1 3/4"	D-1	SCW	F-1	HOLLOW METAL (PAINTED)	HW-01	-	MATCH EXISTING WD VENEER SPECIES

GLAZING TYPE

- GL - 1 1/4" TEMPERED GLAZING
- GL - 2 3/4" FIRE RATED GLAZING - 45 MINUTES



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NO.	DESCRIPTION	DATE
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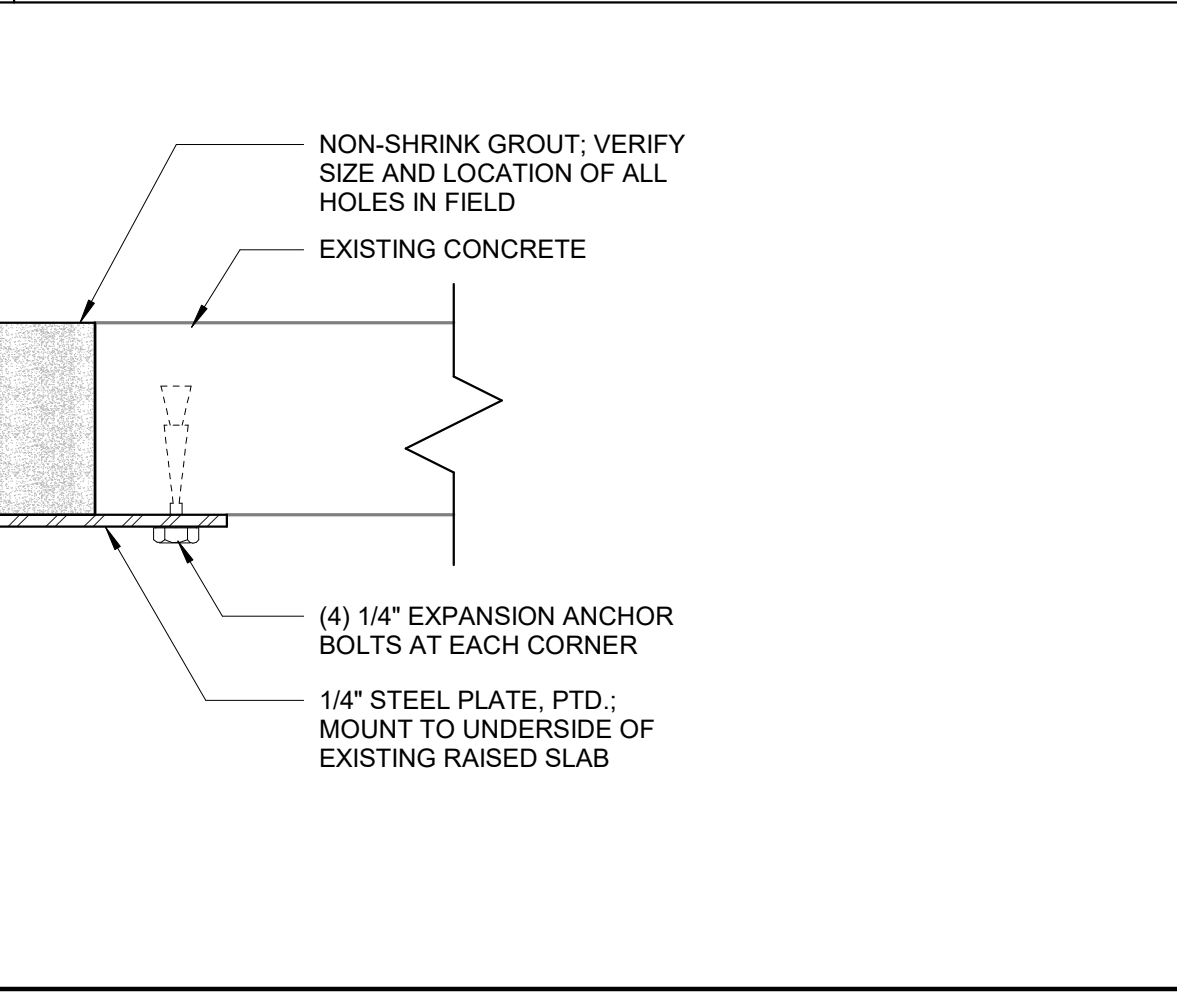
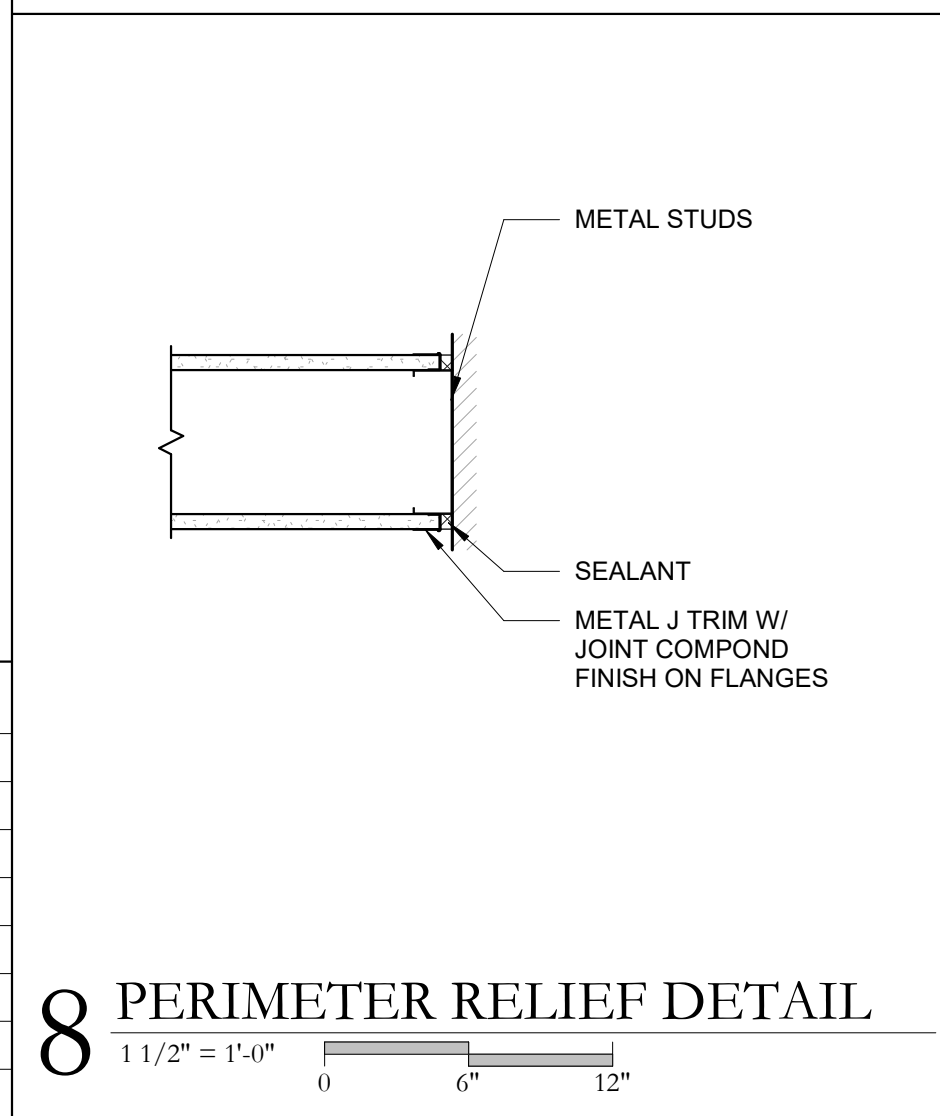
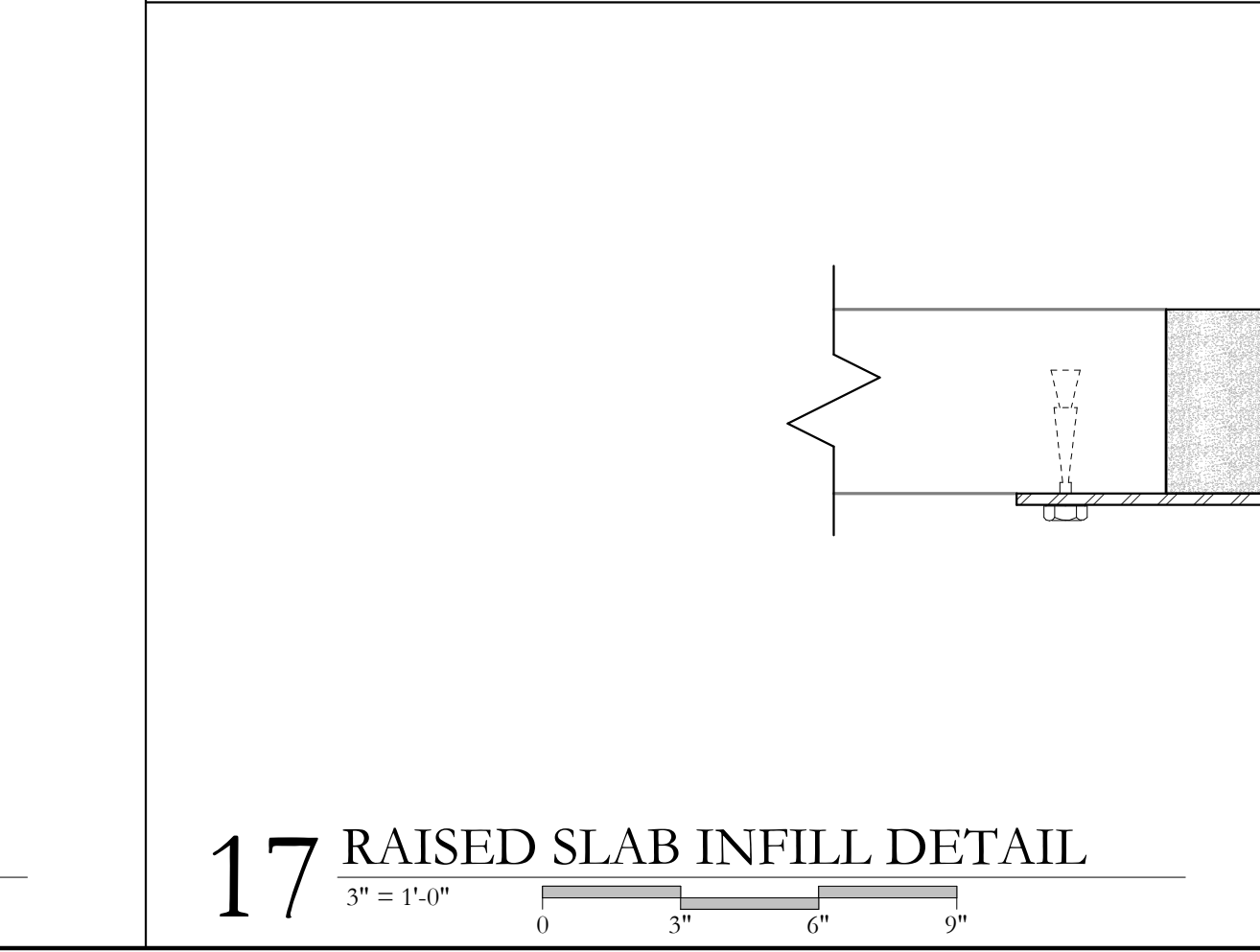
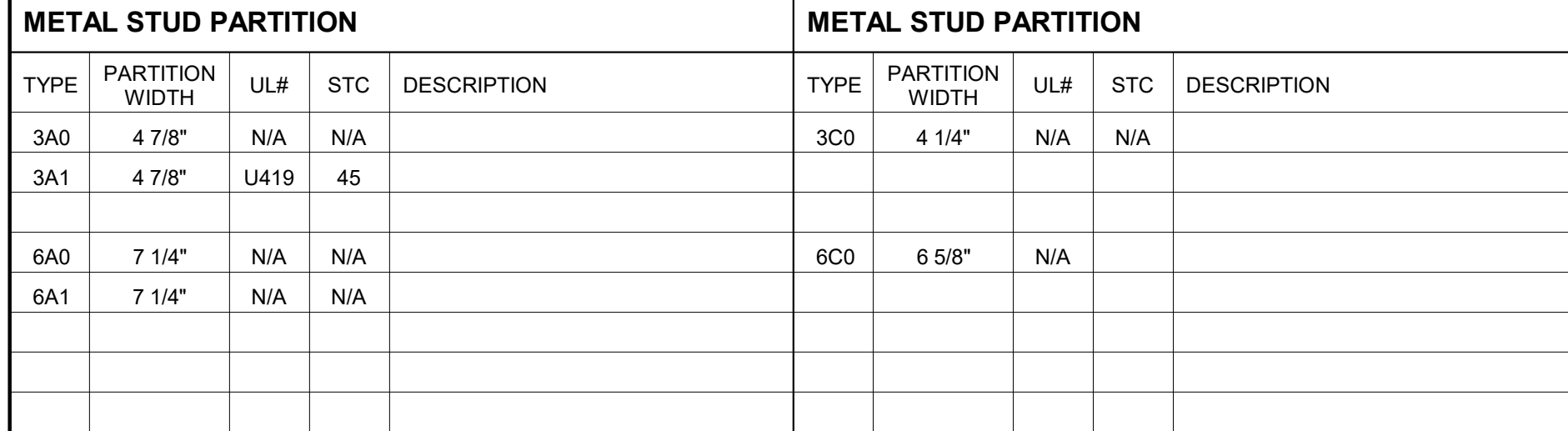
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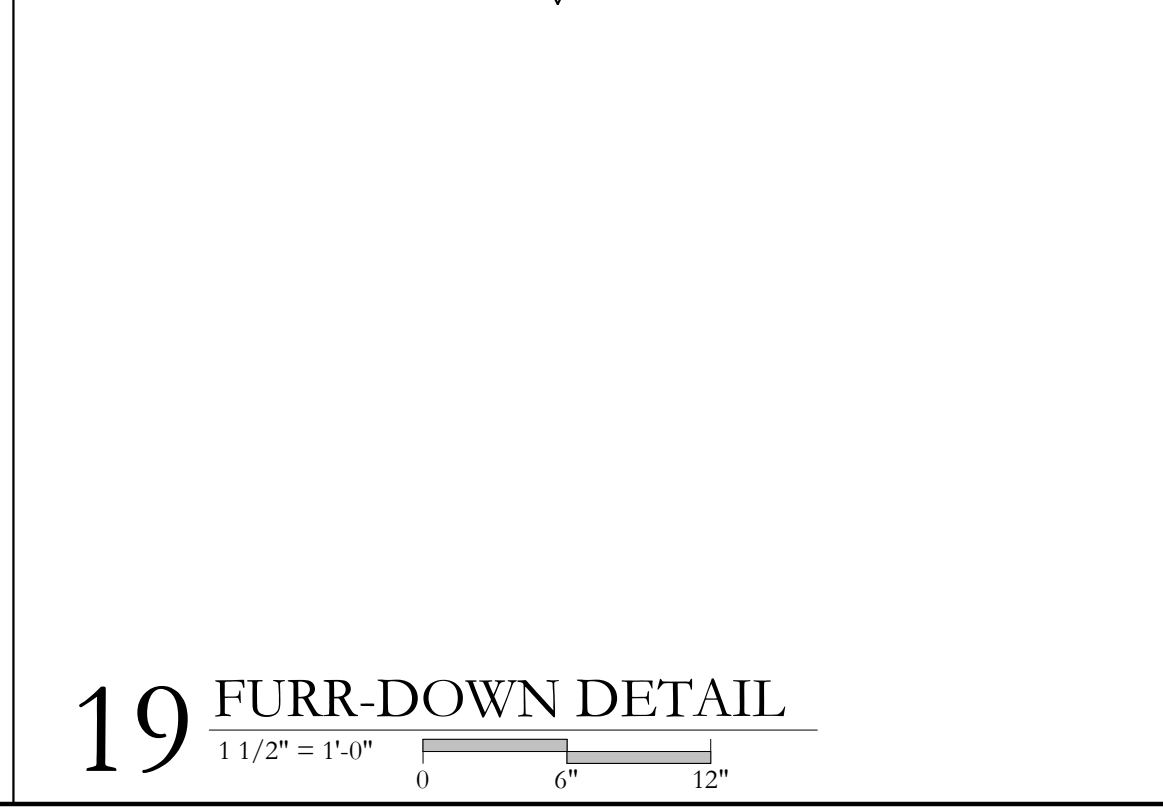
BID ISSUE

A301
RM FINISH SCHED. /
WINDOW & DOOR SCHED. /
DOOR & FRAME TYPES /
OPENING ELEVATIONS

H/S



1.	ALL NON LOAD BEARING INTERIOR METAL STUDS SHALL BE SPACED AT 16" O.C. U.N.O. ON PLANS (GAUGE AS SPECIFIED IN SECTION 09 22 16 U.N.O.)	15.	PROVIDE CONTINUOUS ACOUSTIC SEALANT AT TOP AND BOTTOM OF PARTITION WHERE PARTITION HAS A SOUND TRANSMISSION COEFFICIENT (STC) RATING LISTED.
2.	ALL NON LOAD BEARING INTERIOR METAL WALL FRAMING SHALL BE INSTALLED WITH A DEFLECTION CRITERIA OF L/240, UNLESS OTHERWISE NOTED OR REQUIRED BY THE SPECIFICATIONS.	16.	PROVIDE A CONTINUOUS BEAD OF ACOUSTICAL SEALANT WHERE THE GYPSUM BOARD MEETS THE TOP OR BOTTOM OF THE FLOOR SLAB AT BOTH SIDES OF ALL METAL STUD WALLS.
3.	WHERE AN ADDITIONAL INTERIOR WALL FINISH IS APPLIED TO THE BASE PARTITION SUCH AS TILE, VENEERS, WOOD PANELING, OR SIMILAR, ALL INTERIOR NON LOAD BEARING METAL WALL FRAMING SHALL BE INSTALLED WITH A DEFLECTION CRITERIA OF L/360, UNLESS OTHERWISE NOTED OR REQUIRED BY THE SPECIFICATIONS.	17.	FILL ENTIRE CAVITY WITH SOUND BATTS WHERE SOUND ATTENUATION BLANKETS ARE REQUIRED.
4.	LIMITING HEIGHTS OF INTERIOR NON LOAD BEARING FRAMING SHALL BE PER THE MANUFACTURERS SPAN TABLES BASED ON THE FOLLOWING CRITERIA OUTLINED IN THIS SET OF DRAWINGS AND THE PROJECT MANUAL, HIGHEST OF: 10' MAX STUD DEPTH, STUD SPACING, AND DEFLECTION CRITERIA.	18.	THE CONTRACTOR SHALL COORDINATE ALL SCHEDULED FINISHES WITH PARTITION LAYOUTS AND REQUIRED CLEARANCES.
5.	FRAME OPENINGS IN STUD PARTITIONS TO ACCOMMODATE THRU-WALL DUCT PENETRATIONS. SEAL PENETRATIONS TIGHT TO THE DUCT INSULATION WITH ACOUSTICAL SEALANT ON BOTH SIDES. INFILL ANNUAL SPACE BETWEEN DUCT INSULATION AND STUD FRAMING FULLY WITH MEDIUM DENSITY MINERAL WOOL PACKING MATERIAL AND BACKER ROD AT ENDS TO ACCEPT ACOUSTICAL SEALANT. ANNUAL SPACE BETWEEN STUDS AND DUCT INSULATION SHALL BE 1" OR LESS.	19.	PARTITION TYPE INDICATIONS ARE INDEPENDENT OF APPLIED FINISHES. SEE FINISH SCHEDULE, FINISH PLANS, AND/OR INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION REGARDING APPLIED FINISHES.
6.	FRAME OPENINGS IN CMU PARTITIONS TO ACCOMMODATE THRU-WALL DUCT PENETRATIONS. PROVIDE A 4" WIDE GYPSUM BOARD COVER PLATE SECURED IN A SEALANT BED ON BOTH SIDES OF WALL PRESSED INTO DUCT INSULATION. SEAL PENETRATIONS TIGHT TO THE DUCT INSULATION & COVER PLATE WITH ACOUSTICAL SEALANT ON BOTH SIDES. INFILL ANNUAL SPACE CAVITY BETWEEN DUCT INSULATION AND CMU FULLY WITH MEDIUM DENSITY MINERAL WOOL PACKING MATERIAL. ANNUAL SPACE BETWEEN CMU AND DUCT INSULATION SHALL BE 1" OR LESS.	20.	USE OF EQUIVALENT STEEL STUDS MAY BE ACCEPTABLE. CONTRACTOR MUST SUBMIT SUBSTITUTION REQUEST FORM WITH ALL DOCUMENTATION NECESSARY TO CONFIRM THAT THE EQUIVALENT MINIMUM BASE METAL THICKNESS IS ACHIEVED.
7.	ALL ELECTRICAL CABLE THRU-WALL PENETRATIONS NOT IN CONDUITS SHALL BE SEALED WITH AN ACOUSTICAL SLEEVE PROVIDED BY HILTI, STI, OR EQUAL.	21.	SEE THIS SHEET FOR STANDARD PARTITION DETAILS. ALL STANDARD DETAILS SHOWN MAY NOT BE PRESENT ON THIS PROJECT. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THESE DETAILS AND THE ACTUAL FIELD CONDITIONS TO THE ARCHITECT.
8.	ALL PIPE, SLEEVE, AND CONDUIT THRU-WALL PENETRATIONS SHALL BE SEALED TIGHT WITH ACOUSTICAL SEALANT ON BOTH SIDES. IF MORE THAN 1/2", INFILL ANNUAL SPACE CAVITY BETWEEN PIPE, SLEEVE, OR CONDUIT AND WALL FULLY WITH MEDIUM DENSITY MINERAL WOOL PACKING MATERIAL AND BACKER ROD AT ENDS TO ACCEPT ACOUSTICAL SEALANT. ANNUAL SPACE BETWEEN WALL AND PIPE, SLEEVE, OR CONDUIT SHALL BE 1" OR LESS.		
9.	SEE REFLECTED CEILING PLANS AND CEILING DETAILS FOR SPECIFIC CEILING TYPE, CONSTRUCTION, AND RELATIONSHIP TO PARTITIONS. WHERE CEILINGS DO NOT OCCUR, GYPSUM BOARD SHALL EXTEND TO THE STRUCTURE ABOVE AND SHALL BE FINISHED, TAPED, FLOATED AND PAINTED.		
10.	PROVIDE WOOD TREATED BLOCKING OR SHEET METAL STRAPPING IN PARTITIONS FOR WALL MOUNTED EQUIPMENT, ACCESSORIES, ETC. AS INDICATED. SEE CONSTRUCTION PLAN(S) AND/OR INTERIOR ELEVATIONS FOR LOCATIONS.		
11.	ALL COMPONENTS OF FIRE RATED, SMOKE BARRIER OR SMOKE PARTITION SYSTEMS SHALL EXTEND FROM FLOOR TO THE STRUCTURE ABOVE. ALL RATED PARTITIONS SHALL BE IDENTIFIED AS SUCH WITH LABELING/ STENCILING PER NFPA, LOCATED ABOVE THE CEILING AT 8'-0" O.C.		
12.	AT THE INTERSECTION OF PARTITIONS, THE HIGHEST RATED PARTITION SHALL REMAIN CONTINUOUS.		
13.	WHERE DIAGONAL BRACING OCCURS, STUDS ARE TO BE CUT AND INFILLED BETWEEN STEEL FRAMING (ABOVE AND BELOW) MAX STUD SPACING 16" O.C. COORDINATE ALL MEP ROUTING WITH DIAGONAL BRACING.		
14.	PROVIDE CONTINUOUS FIRE CAULKING AT TOP AND BOTTOM OF PARTITION WHERE PARTITION HAS AN UNDERWRITERS LABORATORY (UL) RATING LISTING. WHERE PARTITIONS ARE LISTED WITH BOTH A FIRE RATING AND AN ACOUSTICAL RATING, THE FIRE RATING TAKES PRECEDENCE.		



CHARACTER	MTL STD STUD DEPTH	MTL CH STUD DEPTH	WOOD STUD DEPTH	CMU WIDTH
0	7/8" FURRING CHANNEL		-	-
1	[1 5/8" OR 1 1/2" FURRING CHANNEL]		-	-
2	2 1/2"	2 1/2"	-	-
3	3 5/8"	-	-	-
4	4"	4"	3 1/2"	3 5/8"
6	6"	6"	5 1/2"	5 5/8"
8	8"	-	7 1/4"	7 5/8"

CHARACTER	FINISH / FINISH HEIGHT	FRAMING MEMBER	FINISH / FINISH HEIGHT	SOUND ATTENUATION
A	1-LAYER GYP. BD. / EXTEND TO DECK	METAL C-STUD TO DECK	1-LAYER GYP. BD. / EXTEND TO DECK	BATT
B	1-LAYER GYP. BD. / EXTEND 6" ABOVE CLG.	METAL C-STUD TO DECK	1-LAYER GYP. BD. / EXTEND 6" ABOVE CLG.	BATT
C	NO FINISH	METAL C-STUD TO DECK	1-LAYER GYP. BD. / EXTEND TO DECK	BATT
D	NO FINISH	METAL C-STUD TO DECK	1-LAYER GYP. BD. / EXTEND 6" ABOVE CLG.	BATT
E	1-LAYER GYP. BD. / EXTEND TO DECK	METAL C-STUD TO DECK	1-LAYER GYP. BD. / EXTEND TO DECK	BATT
F	1-LAYER GYP. BD. / EXTEND 6" ABOVE CLG.	METAL C-STUD TO DECK	1-LAYER GYP. BD. / EXTEND 6" ABOVE CLG. ON 1/2" RESIL. CHANNEL	BATT
G	1-LAYER GYP. BD. / EXTEND TO CLG.	METAL C-STUD TO CLG.	1-LAYER GYP. BD. / EXTEND TO CLG.	BATT
H	1-LAYER SHAFT LINER / EXTEND TO DECK	METAL CH-STUD TO DECK	1-LAYER GYP. BD. / EXTEND TO DECK	BATT
J	NO FINISH	CMU TO DECK	NO FINISH	-
K	NO FINISH	CMU TO DECK	1-LAYER GYP. BD. / EXTEND 6" ABOVE CLG. ON 7/8" MTL. BAT	-
L	NO FINISH	CMU TO DECK	1-LAYER GYP. BD. / EXTEND 6" ABOVE CLG. ON 1 1/2" MTL. STUD	-
M	NO FINISH	EXISTING	1-LAYER GYP. BD. / EXTEND 6" ABOVE CLG. ON 7/8" MTL. BAT	-
N	1-LAYER GYP. BD. / EXTEND TO DECK	WOOD STUD TO DECK	1-LAYER GYP. BD. / EXTEND TO DECK	BATT
P	1-LAYER GYP. BD. / EXTEND 6" ABOVE CLG.	WOOD STUD TO DECK	1-LAYER GYP. BD. / EXTEND 6" ABOVE CLG.	BATT
Q	NO FINISH	WOOD STUD TO DECK	1-LAYER GYP. BD. / EXTEND TO DECK	BATT
R	NO FINISH	WOOD STUD TO DECK	1-LAYER GYP. BD. / EXTEND 6" ABOVE CLG.	BATT

[illegible]

CHARACTER	RATING
0	NOT RATED
S	SMOKE PARTITION
1	1 HOUR RATED
2	2 HOUR RATED
3	3 HOUR RATED

[illegible]

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PARTITION TYPES & DETAILS, SECTION DETAILS



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BID ISSUE

M100

DEMOLITION PLAN -
MECHANICAL

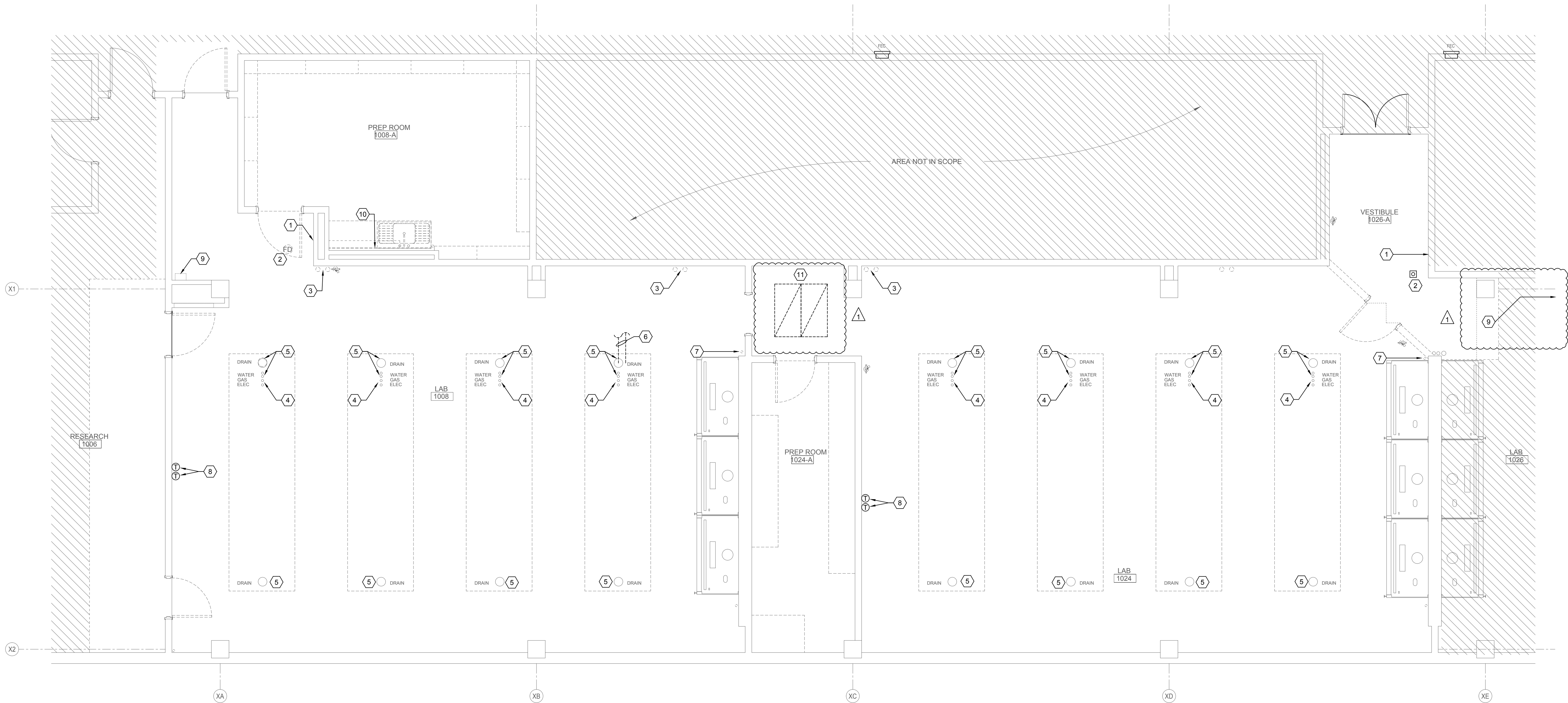
H/S

GENERAL NOTES THIS SHEET:

- EXISTING HVAC AND FUME HOODS TO REMAIN.
- EXISTING PLUMBING TO REMAIN UNLESS NOTED OTHERWISE.
- REMOVE PLUMBING AS INDICATED. CAP IN WALL, BELOW FLOOR AND ABOVE CEILING AS REQUIRED FOR A COMPLETE DEMOLITION.
- THERE IS AN ACCESSIBLE CRAWLSPACE BELOW THE 1ST FLOOR.
- VERIFY EXACT CONDITIONS ON SITE.
- REFER TO ARCHITECTURAL PLANS FOR PHASING REQUIREMENTS.

SPECIFIC NOTES THIS SHEET:

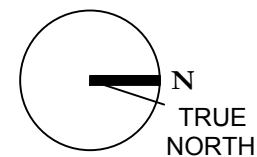
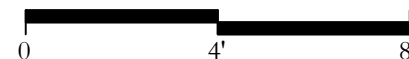
- REMOVE REMAINING COMPONENTS OF SAFETY SHOWER. CAP PIPING AS REQUIRED FOR COMPLETE DEMOLITION.
- REMOVE STRAINER AND CAP FLOOR DRAIN.
- REMOVE EXISTING GAS PIPING FROM FLOOR UP TO MAIN AT CEILING AND CAP AT MAIN.
- REMOVE EXISTING GAS PIPING IN CRAWL SPACE AND ABOVE FLOOR THAT SERVED LAB TABLES.
- REMOVE EXISTING PLUMBING PIPING AT CAP IN CRAWL SPACE. COORDINATE WHAT PIPING CAN BE REUSED FOR NEW TABLES.
- REMOVE OVERHEAD WATER PIPING AND CAP AT MAIN.
- REMOVE GAS PIPING UP TO MAIN AND CAP.
- REMOVE EXISTING PNEUMATIC THERMOSTAT. CAP TUBING.
- REMOVE EXISTING SINK AND CAP PIPING AS REQUIRED FOR A COMPLETE DEMOLITION.
- REMOVE EXISTING GAS PIPING AT WALL UP TO MAIN AND CAP AT MAIN.
- REMOVE EXISTING RETURN AIR GRILLES.



16

PARTIAL FLOOR PLAN - MECHANICAL DEMOLITION

1/4" = 1'-0"



GENERAL NOTES THIS SHEET:

- ALL SEWER AND STORM DRAIN PIPING SHALL BE RUN BELOW SLAB UNLESS NOTED OTHERWISE. HANG FROM SLAB PER DETAIL.
- VENT PIPING SHALL BE RUN ABOVE CEILING OR TIGHT TO STRUCTURE.
- PROVIDE TRAP PRIMERS ON ALL FLOOR DRAINS.
- ALL COLD WATER, HOT WATER AND HOT WATER RE-CIRCULATING PIPING SHALL BE RUN ABOVE CEILING OR TIGHT TO STRUCTURE. STORM DRAIN PIPING ABOVE GRADE SHALL BE RUN ABOVE CEILING OR TIGHT TO STRUCTURE.
- ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
- PROVIDE AIR CHAMBERS ON ALL DOMESTIC WATER BRANCH PIPING SERVING FIXTURES.
- PROVIDE ISOLATION VALVES IN THE HOT AND COLD WATER PIPING TO ALL FIXTURE GROUPS.
- PLUMBING SHALL CONFORM TO THE INTERNATIONAL PLUMBING CODE.
- PLUMBING DRAWINGS ARE SCHEMATIC IN NATURE. COORDINATE PIPE ROUTING WITH STRUCTURE AND UNDERGROUND SUPPORTS. ADJUST LOCATION AS REQUIRED.
- VENT NEW ACID WASTE PIPING AS REQUIRED.

SPECIFIC NOTES THIS SHEET:

- CONNECT TO EXISTING PIPING. VERIFY ON SITE.
- CONNECT TO EXISTING ACID WASTE IN CRAWL SPACE. VERIFY LOCATION ON SITE. ISLAND VENT OR PROVIDE AIR ADMITTANCE VALVE PER CODE.
- CONNECT TO EXISTING AW IN CRAWLSPACE. VERIFY EXACT LOCATION ON SITE. UTILITIES WERE LOCATED AT DEMOLISHED CASEWORK. CORE SLAB FOR EACH SERVICE. 2" AW, 3/4" CW. ISLAND VENT OR PROVIDE AIR ADMITTANCE VALVE PER CODE.
- CORE SLAB AS REQUIRED FOR NEW HOOD CUP SINK. PROVIDE 2" AW CONNECTION.
- CONNECT TO EXISTING CW. VERIFY LOCATION ON SITE.
- RELOCATE EXISTING TEMPERATURE SENSOR. PROVIDE NEW SURFACE MOUNTED RACEWAY AND EXTEND WIRING AS REQUIRED TO CLEAR NEW SAFETY SHOWER.
- CONNECT TO EXISTING HW. VERIFY LOCATION ON SITE.
- CONNECT TO EXISTING FUMEHOOD EXHAUST DUCT. REWORK ELBOW AND PROVIDE NEW TEE AS REQUIRED.
- REMOVE EXISTING SIDEWALL REGISTER. PROVIDE NEW SIDEWALL REGISTER TO MATCH SIZE OF EXISTING. FIELD VERIFY. SEE M300 FOR SIDEWALL GRILLE DESCRIPTION.
- PROVIDE TWO 24x48 R-2 RETURN GRILLES IN NEW CEILING.
- RE-INSULATE EXISTING PIPING. REFER TO HAZARD MATERIALS DRAWINGS FOR THE EXTENT OF WORK. USE 1/2" THICK FIBER GLASS PIPE INSULATION WITH ASJ JACKET.
- 3/4" CW DOWN TO ICE MAKER.
- TRAP PRIMER. RUN 1/2" TP LINE DOWN. CORR DRILL INTO CRAWLSPACE TO FLOOR DRAIN(S).
- CONNECT TO EXISTING CW & HW AT WALL.
- 3/4" CW DOWN TO HOOD.
- PROVIDE FIRE DAMPER IN DUCTS AND GRILLES PENETRATING PREP ROOM WALLS. VERIFY ON SITE.



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PROJECT MANAGER	JTC
QUALITY CONTROL	JTC

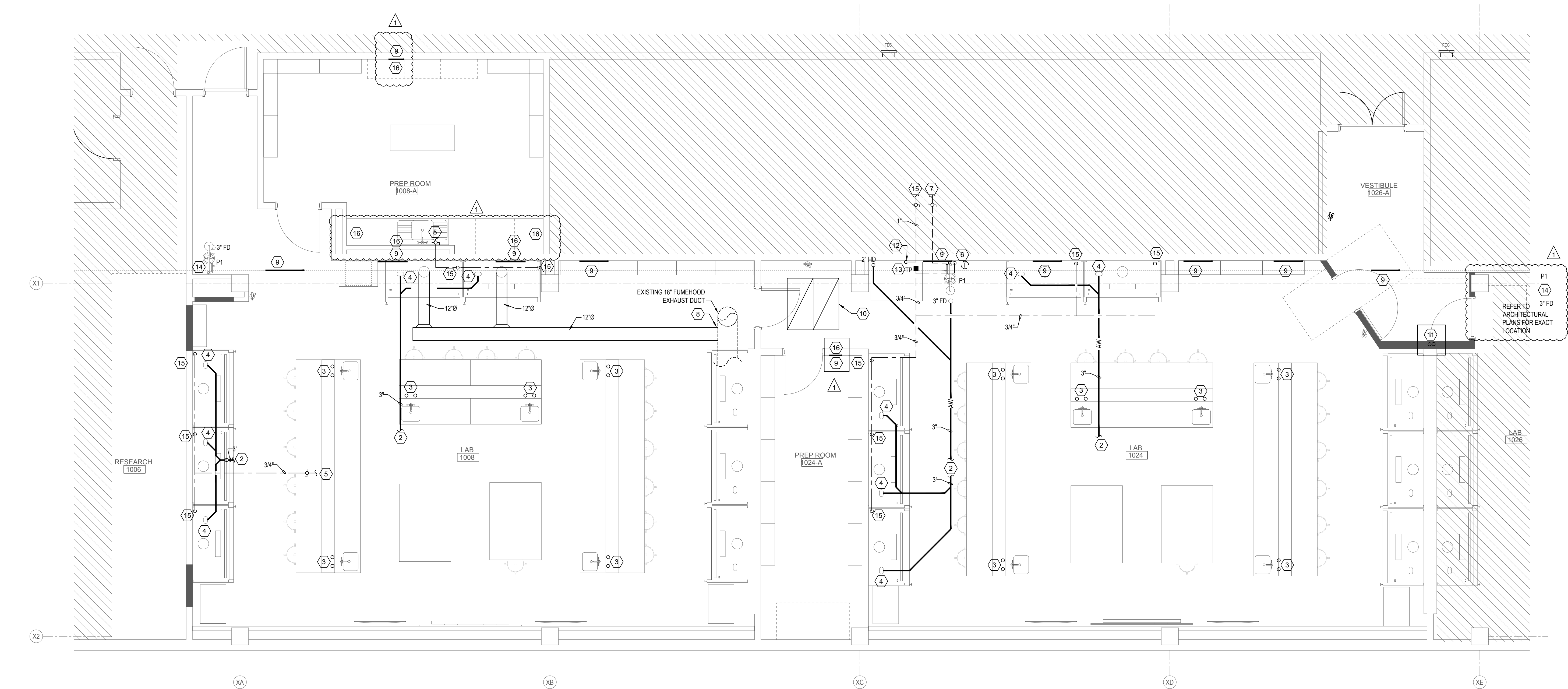
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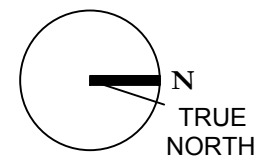
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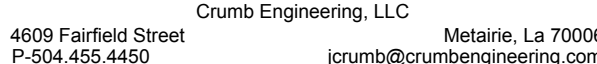
PARTIAL FLOOR PLAN -
MECHANICAL

H/S



16 PARTIAL FLOOR PLAN - MECHANICAL
1/4" = 1'-0"





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A circular red seal for the State of Louisiana. The outer ring contains the text "STATE OF LOUISIANA" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars. In the center is a red silhouette of the state of Louisiana. Below the state outline, the text "JASON T. RUMB" and "License No. 27954" is printed. A blue ink signature is written across the seal, overlapping the text and the state outline.

PROJECT NO.	2100
PHASE	CD
DATE	05.07.20
PROJECT MANAGER	JTO
QUALITY CONTROL	JTO

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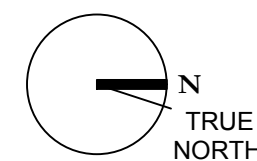
DEMOLITION PLAN -
ELECTRICAL

S/H

GENERAL NOTES THIS SHEET:

1. ELECTRICAL TO REMAIN UNLESS NOTED OTHERWISE.
2. VERIFY EXACT CONDITIONS ON SITE.
3. MAINTAIN CIRCUIT CONTINUITY FOR DEMOLISHED ITEMS.
4. SEE ARCHITECTURAL DRAWINGS FOR PHASING REQUIREMENTS.

1	REMOVE EXISTING SURFACE MOUNTED RACEWAYS AND DEVICES BACK TO JUNCTION BOX.	9	REMOVE EXISTING JUNCTION BOX AND WIRING BACK TO PANEL.
2	REMOVE EXISTING LAB TABLE POWER. PROVIDE JUNCTION BOX IN CRAWLSPACE AND TERMINATE WIRING.	10	REMOVE EXISTING LIGHT. BRANCH CIRCUIT TO REMAIN AND BE REUSED FOR NEW LIGHT.
3	RAISE FIRE ALARM DEVICE TO CLEAR VENTLESS HOOD.	11	REMOVE EXISTING POWER THIS WALL TO JUNCTION BOX AT CEILING FOR REUSE.
4	LAMPS TO BE ABATED. EXISTING LIGHT FIXTURE TO BE REMOVED. EXISTING BRANCH CIRCUIT TO REMAIN FOR NEW LIGHTS. REMOVE WIRE BACK TO MAIN JUNCTION BOX. SEE E200. EXISTING SUPPORTS TO REMAIN.		
5	REMOVE EXISTING LIGHT SWITCH AND WIRING.		
6	REMOVE EXISTING CONTROL SWITCH AND WIRING. PROVIDE BLANK COVER PLATE.		
7	REMOVE EXISTING RECEPTACLE AND WIRING BACK TO PANEL.		
8	REMOVE EXISTING IT JACK AND WIRING BACK TO PATCH PANEL.		





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NO.	DESCRIPTION	DATE
1	Addendum 2	06.03.21

PROJECT NO.	21006
PHASE	CD
DATE	05.07.21
PROJECT MANAGER	JTC
QUALITY CONTROL	JTC

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E200

PARTIAL FLOOR PLAN
- LIGHTING

H/S

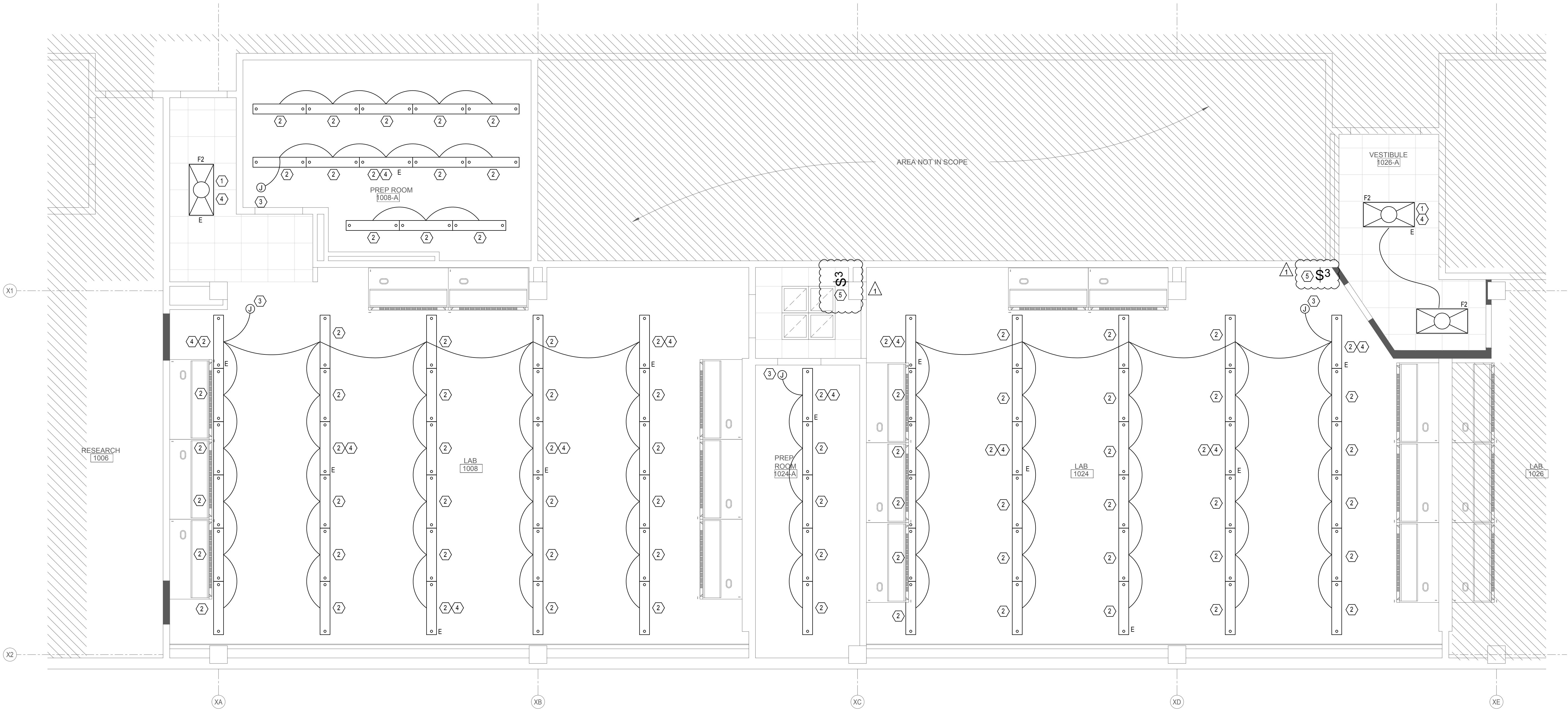
GENERAL NOTES THIS SHEET:

- ALL FIXTURES SHALL BE INSTALLED LEVEL AND TRUE. CENTER FIXTURES WHERE APPLICABLE. REFER TO ARCHITECT'S REFLECTED CEILING PLAN AND ARCHITECT'S ELEVATIONS FOR FIXTURE LOCATIONS.
- ALL FIXTURES SHALL BE TYPE F1 UNLESS NOTED OTHERWISE.
- INSTALL FIXTURES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL NECESSARY WIRING, SWITCHES AND MOUNTING HARDWARE.
- ALL CONDUIT SHALL BE 1/2" WITH 2-#12 AWG & 1-#12 GRD UNLESS NOTED OTHERWISE. WIRE MULTI-WAY SWITCHES AND LIGHTING CONTROLS IN ACCORDANCE WITH THE PRODUCT LITERATURE.
- FOR CONDUIT RUNS EXCEEDING 75', INCREASE TO #10 AWG CONDUCTORS.
- GROUNDING SHALL BE IN ACCORDANCE WITH NEC ART. 250.
- PROVIDE LED EXIT FIXTURES AT ALL LOCATIONS AS SHOWN ON THE LIFE SAFETY PLAN.
- ALL EXTERIOR LIGHTING SHALL BE PHOTOCELL CONTROLLED UNLESS NOTED OTHERWISE.
- PROVIDE UNSWITCHED HOT CONDUCTOR TO ALL EXIT AND EMERGENCY FIXTURES.
- SEE ARCHITECTURAL DRAWINGS FOR PHASING REQUIREMENTS.

SPECIFIC NOTES THIS SHEET:

- CONNECT TO EXISTING LIGHTING CIRCUIT.
- NEW LIGHT FIXTURES. MOUNT TO EXISTING SUPPORTS. CONNECT TO EXISTING ROOM LIGHTING CIRCUIT.
- EXISTING LIGHTING JUNCTION BOX. CONNECT TO EXISTING ROOM LIGHTING CIRCUIT. VERIFY EXACT LOCATION ON SITE. MAINTAIN CIRCUIT CONTINUITY.
- PROVIDE UNSWITCHED CONDUCTOR TO 'E' LIGHTS.

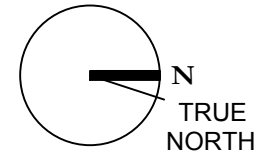
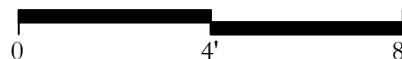
5 PROVIDE NEW 3-WAY SWITCHES FOR LIGHTING IN ROOM 1024. INTERCEPT EXISTING SWITCHING CIRCUIT AND WIRE (2) NEW 3-WAY SWITCHES FOR ROOM 1024 CONTROL. VERIFY EXACT REQUIREMENTS ON SITE.



16

PARTIAL FLOOR PLAN - LIGHTING

1/4" = 1'-0"



GENERAL NOTES THIS SHEET:

1. REFER TO ARCHITECT'S FLOOR PLANS AND ARCHITECT'S ELEVATIONS FOR RECEPTACLE AND OUTLET LOCATIONS. PROVIDE ADDITIONAL RECEPTACLES AS REQUIRED.
2. PROVIDE DEDICATED NEUTRAL FOR EACH CIRCUIT. DO NOT SHARE NEUTRAL CONDUCTORS.
3. ALL CONDUIT SHALL BE 1/2" WITH 2-#12 AWG & 1-#12 GRD UNLESS NOTED OTHERWISE. FOR CONDUIT RUNS LONGER THAN 75', UPSIZE CONDUCTORS TO #10 AWG.
4. GROUNDING SHALL BE IN ACCORDANCE WITH NEC ART. 250.
5. PROVIDE POWER FOR ALL EQUIPMENT SHOWN ON MECHANICAL AND ARCHITECTURAL FLOOR PLANS. COORDINATE EXACT REQUIREMENTS WITH SUBMITTALS.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE NEC.
7. ALL TOILET ROOM, KITCHEN, EQUIPMENT ROOM AND RECEPTACLES WITHIN 6' OF A PLUMBING FIXTURE SHALL BE GFCI TYPE. EXTERIOR RECEPTACLES SHALL WEATHERPROOF GFCI.
8. PROVIDE RECEPTACLES NEAR AC EQUIPMENT FOR SERVICING AS REQUIRED BY THE NEC.
9. 9. SEE ARCHITECTURAL DRAWINGS FOR PHASING REQUIREMENTS.

SPECIFIC NOTES THIS SHEET:

- 1 PROVIDE SURFACE MOUNTED RECEPTACLE AND JUNCTION BOX AT LOCATION OF EXISTING JUNCTION BOX.
- 2 CONNECT TO EXISTING BRANCH CIRCUIT (3) IN CRAWLSPACE. VERIFY EXACT LOCATION ON SITE. CORE SLAB AS REQUIRED. EXISTING CIRCUITS SUPPLIED DEMOLISHED LAB TABLES
- 3 PROVIDE RACEWAY IN CHASE FROM CRAWLSPACE UP TO CASEWORK CHASE ABOVE TABLE TOP.
- 4 HOMERUN TO CIRCUIT INDICATED. PROVIDE SURFACE MOUNTED RACEWAY AS REQUIRED.
- 5 30A, 120V, 1PH RECEPTACLE. VERIFY TYPE WITH EQUIPMENT. 2/2" C, 2 #10 AWG & 1# 10 GRD. HOMERUN TO EXISTING PANEL IXK, INSTALL 30A, 1 POLE BREAKER.
- 6 MOUNT RECEPTACLES IN VERTICAL PANEL. SEE ARCHITECTURAL ELEVATIONS.
- 7 HOMERUN TO PANEL INDICATED. LETTER DESIGNATES NEW CIRCUIT. CONNECT TO EXISTING BREAKER RECAPTURED DURING DEMOLITION. PROVIDE SURFACE MOUNTED RACEWAY AS REQUIRED.
- 8 REPLACE EXISTING BREAKER(S) WITH 20A, 1P, GFCI TYPE.
- 9 DOUBLE GANG, DOUBLE FACED ELECTRICAL PEDESTAL WITH GFI OUTLETS, THOMAS SCIENTIFIC TSE 633WS - GFI OR EQUAL.



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NO.	DESCRIPTION	DATE
1	Addendum 2	06.03.21

PROJECT NO.	21006
PHASE	CD
DATE	05.07.21
PROJECT MANAGER	JTC
QUALITY CONTROL	JTC

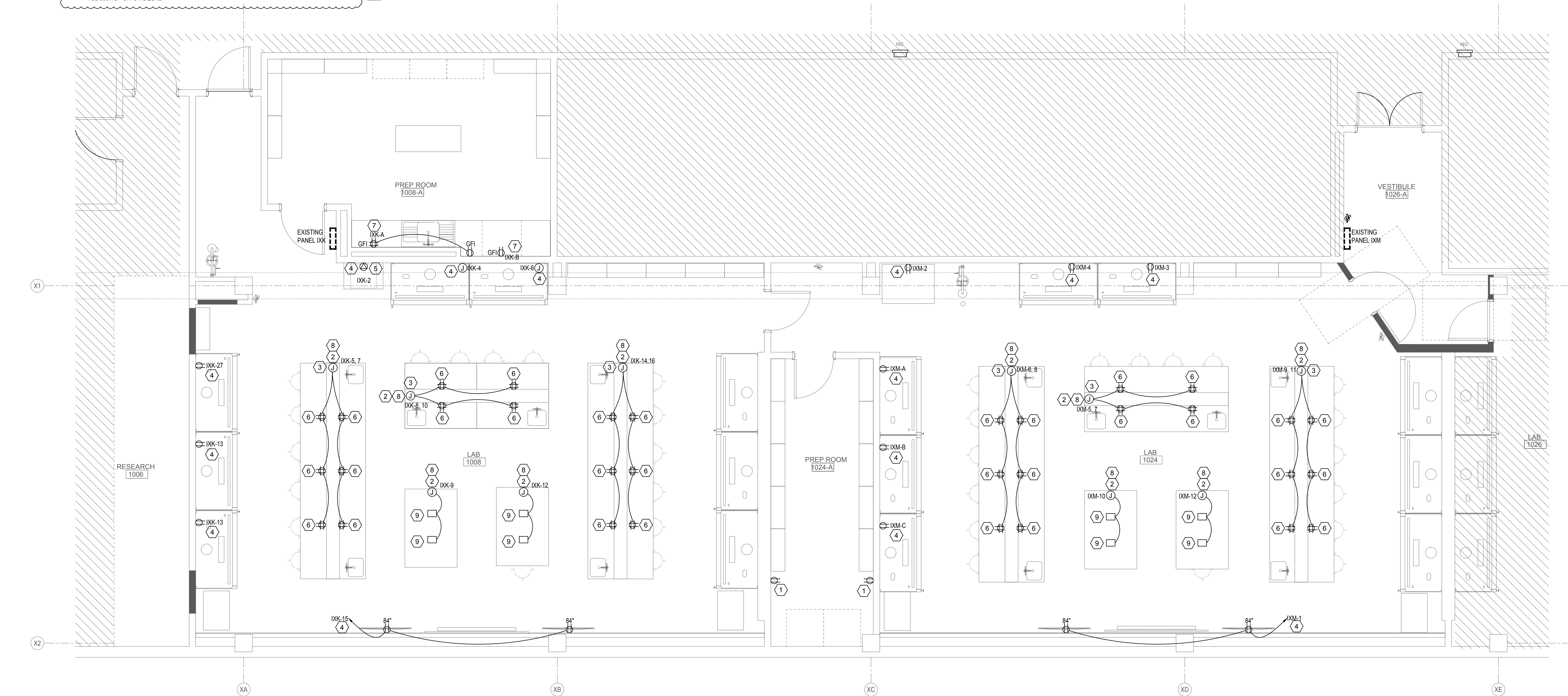
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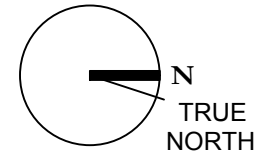
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












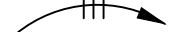









PARTIAL FLOOR PLAN
- ELECTRICAL

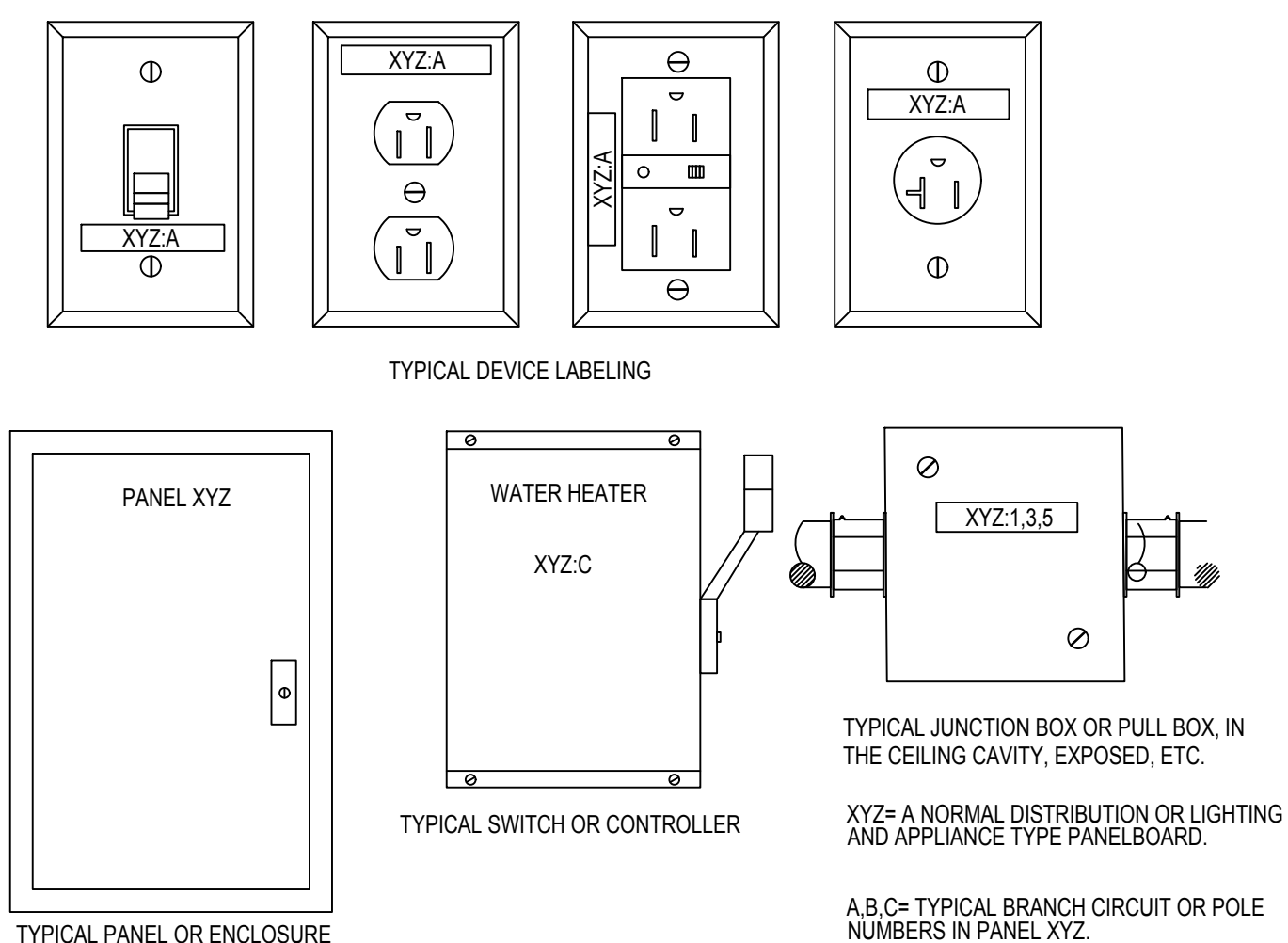
H/S



16 PARTIAL FLOOR PLAN - POWER & SPECIAL SYSTEMS

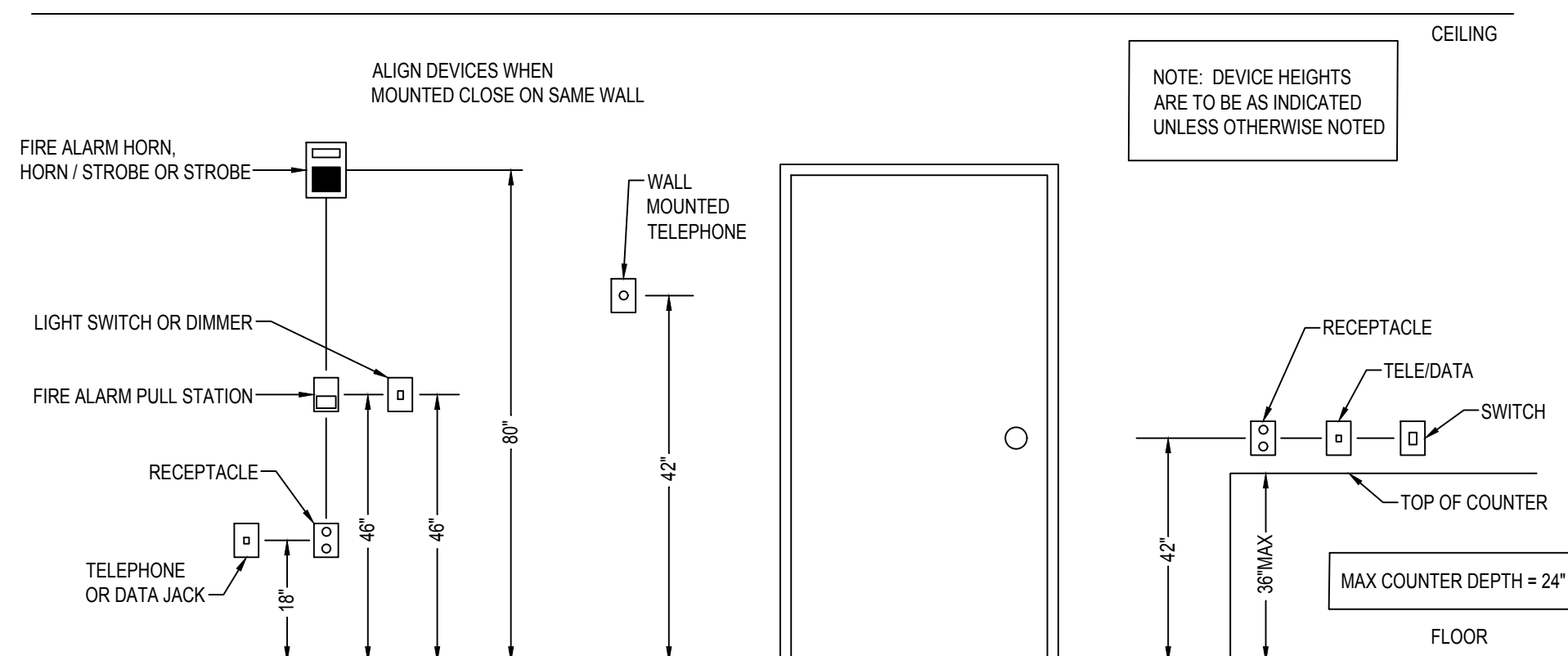


ELECTRICAL/TELECOM			LEGEND	
SYMBOL	DESCRIPTION		SYMBOL	DESCRIPTION
	SINGLE POLE SWITCH	LETTER DENOTES FIXTURE CONTROL		DUPLEX RECEPTACLE MTD. 18" ABOVE FLOOR
	THREE WAY SWITCH			DUPLEX RECEPTACLE MTD. ABOVE WORK SURFACE
	WEATHERPROOF TOGGLE SWITCH			DUPLEX RECEPTACLE, WEATHERPROOF
	DIMMER SWITCH - TO BE COMPATIBLE WITH LIGHT FIXTURE DRIVER			FLOOR OUTLET
	CEILING FAN SWITCH			CEILING OUTLET
	OCCUPANCY SENSOR SWITCH			SPECIAL OUTLET
	TIMER SWITCH	LETTER DENOTES FIXTURE CONTROL		DUPLEX RECEPTACLE W/GROUND FAULT INTERRUPTER
	HOME RUN TO PANEL	CROSS LINES DENOTE NUMBER OF CONDUCTORS WHEN MORE THAN TWO		QUADRAPLEX RECEPTACLE MTD. 18" ABOVE FLOOR
	CONCEALED WIRING			DATA/CABLE OUTLET (WALL)
	DISCONNECT SWITCH W/VISIBLE BLADES			TELEPHONE OUTLET (WALL)
	ELECTRIC MOTOR W/APPROVED DISCONNECT SWITCH			TELEPHONE OUTLET (FLOOR)
	JUNCTION BOX			TELEPHONE/DATA OUTLET (WALL)



DEVICE AND EQUIPMENT LABELING DETAIL


NO SCALE



TYPICAL DEVICE MOUNTING HEIGHTS

NO SCALE

LIGHTING		FIXTURE	SCHEDULE
MARK	DESCRIPTION		LAMP
F1	4' LINEAR DIRECT/INDIRECT LED - SEE PLANS FOR CONTINUOUS LENGTH AND ELEVATIONS FOR MOUNTING HEIGHT CORELITE J2WL30L935-1-277-STD-DLED-W-XX		23W LED 277V
F2	2x4' LENSED LED TROFFER WITH UNIVERSAL BALLAST COOPER 24GR-LD4-38-A125-UNV-L835-1		35W LED 277V

PROVIDE EMERGENCY BATTERY AND DRIVER/BALLAST FOR ALL FIXTURES WITH 'E' DESIGNATION.
PRIOR APPROVED - PEERLESS, LITHONIA 
ELECTRICAL SPECIFICATIONS

GENERAL
COMPLY WITH NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA):
INSULATED POWER CABLE ENGINEERS ASSOCIATION (IPCEA): NATIONAL ELECTRICAL
CODE (NFPA NO. 70): LOUISIANA STATE FIRE MARSHAL REQUIREMENTS: LOCAL
REGULATORY AGENCIES: ALL APPLICABLE CODES AND STANDARDS.

ALL APPLICABLE PRODUCTS TO HAVE U.L. LABEL ATTACHED.

ARRANGE AND PAY FOR REQUIRED PERMITS, LICENSES, FEES, AND INSPECTIONS

MATERIALS AND INSTALLATION

ALL MATERIAL SHALL BE NEW, U.L. APPROVED, AS SPECIFIED.

INSTALLATION SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, STATE, AND LOCAL CODES.

EXTERIOR/EXPOSED TO WEATHER CONDUIT SHALL BE GRP. UNDERGROUND CONDUIT SHALL BE CONCRETE ENCASED SCHEDULE 40 PVC. UNDERGROUND INSTALLATION SHALL BE IN ACCORDANCE WITH NEC ARTICLE 230 AND 300. BRANCH CIRCUITS SHALL BE RUN IN EMT. MINIMUM SIZE CONDUIT SHALL BE 1/2". FLEXIBLE CONDUIT MAY BE USED FOR BRANCH CIRCUITS IF APPROVED BY LOCAL AUTHORITY. AT CONTRACTORS OPTION, TYPE MC CABLE MAY BE USED, EXCEPT UNDERGROUND, IN CMU WALLS OR IN CONCRETE SLABS.

WIRING DEVICES SHALL BE SPECIFICATION GRADE AS MANUFACTURED BY LEVITON, OR
APPROVED EQUAL.

ALL LIGHTING FIXTURES SHALL BE AS SCHEDULED ON THE DRAWINGS, OR APPROVED
EQUAL.

CONDUCTORS SHALL BE COPPER WITH TYPE THHN/THWN INSULATION.

DISTRIBUTION PANELS SHALL BE BOLT-ON CIRCUIT BREAKER TYPE.

120 VOLT RECEPTACLES SHALL BE DUPLEX GROUNDING TYPE MOUNTED AT 18" UNLESS OTHERWISE SPECIFIED. OUTLET DEVICE/COVER PLATE COLOR BY ARCHITECT.

DISCONNECT SWITCHES SHALL BE HEAVY DUTY, FUSIBLE TYPE, NEMA-1 FOR INDOORS, NEMA-3R FOR OUTDOORS. PROVIDE UNISTRUT FRAMING AS REQUIRED FOR MOUNTING OF DISCONNECT SWITCHES.

SURFACE MOUNTED RACEWAYS SHALL BE ONE PIECE STEEL, WHITE COLOR, WITH ALL REQUIRED FITTINGS, WIREMOLD V700 OR EQUAL. PROVIDE SURFACE MOUNTED OUTLET BOX WHERE RECEPTACLES ARE SHOWN.

OUTLET AND SWITCH BOXES SHALL BE 4" SQUARE BY 1 1/2" DEEP OR LARGER.

LIGHT SWITCHES SHALL BE 20 AMP TOGGLE TYPE MOUNTED AT 48 INCHES FROM FINISHED FLOOR. DIMMING SWITCH SHALL MATCH LIGHT FIXTURE REQUIREMENTS

GROUNDING SHALL BE IN ACCORDANCE WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE.

PROVIDE ELECTRICAL CONNECTIONS TO ALL MECHANICAL EQUIPMENT AND EQUIPMENT FURNISHED UNDER OTHER SECTIONS.

FIRE ALARM DEVICES SHALL BE INSTALLED AS INDICATED ON DRAWINGS AND CONNECT TO EXISTING FIRE ALARM PANEL. ALL WORK SHALL BE IN ACCORDANCE WITH NFPA 72 AND 101. UTILIZE CEILING MOUNTED SPEAKER STROBES TO MATCH EXISTING.

LABOR AND MATERIAL SHALL BE GUARANTEED FOR ONE (1) YEAR FROM DATE OF ACCEPTANCE.



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NO.	DESCRIPTION	DATE
1	Addendum 2	06.03.21

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ELECTRICAL SCHEDULES
AND DETAILS

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